

# AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
JULY 25, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## (I) CALL TO ORDER

## (II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

## (III) OPEN FORUM

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

## (IV) CONSENT AGENDA

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

- (2) Approval of minutes for the June 27, 2023 Planning and Zoning Commission meeting.

### (3) **P2023-022 (BETHANY ROSS)**

Consider a request by Jeff Carroll of Carroll Architects on behalf of Eric Borkenhagen of Kohl's for the approval of a Replat for Lots 8 & 9, Block A, Rockwall Market Center East Addition being a 7.383-acre parcel of land identified as Lot 7, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 828 Rochell Court, and take any action necessary.

## (V) PUBLIC HEARING ITEMS

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

### (4) **Z2023-031 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Manuel Tijerina for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

### (5) **Z2023-032 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) superseding Ordinance No. 22-02 [S-266] and allowing the expansion of an existing Motor Vehicle Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

## (VI) ACTION ITEMS

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

(6) **MIS2023-009 (HENRY LEE)**

Discuss and consider a request by Blair Selden on behalf of Robert Stark for the approval of a Miscellaneous Case for an Exception to the fence material requirements on a 0.47-acre tract of land identified as a portion of Lots 4-7 and Lots 10-13, Block 1 & 2, Mill Co. Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 607 St. Mary Street, and take any action necessary.

(7) **SP2023-023 (HENRY LEE)**

Discuss and consider a request by Frank A. Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger of Rayburn Country Electric Cooperative for the approval of an Amended Site Plan for an Industrial Campus on a 99.849-acre tract of land identified as Lots 6, 7, 8 & 9, Block A, Rayburn Country Addition and Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 950 & 980 Sids Road, and take any action necessary.

(VII) **DISCUSSION ITEMS**

*These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is August 15, 2023.*

(8) **Z2023-033 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Dennis and Melissa Cain for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of allowing the construction of a single-family home on a 12.00-acre tract of land identified as Tracts 8-01 & 8-02 of the W. T. DeWeese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 803 Dalton Road, and take any action necessary.

(9) **Z2023-034 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Dakota and Claire Brewer for the approval of a Zoning Change from a Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family 1.5 (SFE-1.5) District for a 2.66-acre tract of land identified as a Tract 4-2 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE-4.0) District, addressed as 626 Cullins Road, and take any action necessary.

(10) **Z2023-035 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) amending Ordinance No. 22-52 [S-287] for a Golf Driving Range on an 7.955-acre tract of land being portions of a larger 18.131-acre tract of land and a 12.868-acre tract of land identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located near the terminus of Fit Sport Life Boulevard, and take any action necessary.

(11) **Z2023-036 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

(12) **Z2023-037 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by James and Mary Blocker for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1199-acre parcel of land identified as Lot 8, Block A, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 19 (PD-19), addressed as 1796 Mystic Street, and take any action necessary.

(13) **SP2023-022 (BETHANY ROSS)**

Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a warehouse/office development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.



(14) **SP2023-024 (HENRY LEE)**

Discuss and consider a request by David Lindsay of Tri-Tex Construction Inc. for the approval of a Site Plan for an *office building* on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road, and take any action necessary.

(15) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2023-015: Final Plat for Lot 1, Block A, Rochell Elementary School Addition **(APPROVED)**
- P2023-016: Master Plat for the Peachtree Meadows Subdivision **(APPROVED)**
- P2023-017: Preliminary Plat for the Peachtree Meadows Subdivision **(APPROVED)**
- P2023-018: Final Plat for Lots 1-3, Block A, REC Campus Addition **(APPROVED)**
- P2023-019: Replat for Phase 2 of the Somerset Pak Subdivision **(APPROVED)**
- P2023-020: Replat for Lot 22, Block A, Rainbo Acres Addition **(APPROVED)**
- MIS2023-008: Special Exception for 327 Nicole Drive **(DENIED)**
- Z2023-024: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 311 Valiant Drive **(1<sup>ST</sup> READING; DENIED)**
- Z2023-025: Specific Use Permit (SUP) for an *Accessory Building* at 3065 Winecup Lane **(2<sup>ND</sup> READING; APPROVED)**
- Z2023-026: Zoning Change from Agricultural (AG) District to a Single-Family 16 (SF-16) District for 2065 Airport Road **(APPROVED; 2<sup>ND</sup> READING)**
- Z2023-027: Specific Use Permit (SUP) for a *Residential Infill in an Established Subdivision* for 110 Mischief Lane **(APPROVED; 2<sup>ND</sup> READING)**
- Z2023-028: Specific Use Permit (SUP) for a *Residential Infill in an Established Subdivision* at 481 Blanche Drive **(APPROVED; 2<sup>ND</sup> READING)**
- Z2023-029: Zoning Amendment to Planned Development District 8 (PD-8) **(APPROVED; 1<sup>ST</sup> READING)**
- Z2023-030: Zoning Change from Agricultural (AG) District to a Light Industrial (LI) District for 1780 Airport Road **(APPROVED; 2<sup>ND</sup> READING)**
- Z2023-031: Specific Use Permit (SUP) for a *Residential Infill in an Established Subdivision* at 709 Forest Trace **(NEW PUBLIC HEARING DATE ANNOUNCED)**
- Z2023-032: Specific Use Permit (SUP) for the expansion of an *Existing Motor Vehicle Dealership* at 1540 E. IH-30 **(REMANDED BACK TO THE PLANNING AND ZONING COMMISSION)**

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on July 21, 2023 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES

PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
JULY 11, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT  
3 [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR  
4 SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT  
5 FORM ON THE CITY'S WEBSITE.  
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## 7 I.CALL TO ORDER

8  
9 **Chairman Deckard called the meeting to order at 6:00 PM. Commissioners present were John Womble, Jerry Welch, Brian Llewelyn, Ross Hustings**  
10 **and Kyle Thompson. Absent from the meeting was Commissioner Jean Conway. Staff members present were Director of Planning and Zoning Ryan**  
11 **Miller, Planners Bethany Ross and Henry Lee. Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy**  
12 **Williams and Assistant City Engineer Jonathan Browning.**

## 13 14 II.APPOINTMENTS

15  
16 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on  
17 the agenda requiring architectural review.  
18

## 19 III.OPEN FORUM

20  
21 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the*  
22 *policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN*  
23 *FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings*  
24 *Act.*

25  
26 **Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being**  
27 **no one indicating such, Chairman Deckard closed the open forum.**  
28

## 29 IV.CONSENT AGENDA

30  
31 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)*  
32 *and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*  
33

34 2. Approval of minutes for the June 27, 2023 Planning and Zoning Commission meeting.

### 35 36 3. **P2023-016 (HENRY LEE)**

37 Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a Master Plat for  
38 the Peachtree Meadows Subdivision consisting of 292 single-family residential lots on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson  
39 Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned Development District  
40 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection  
41 of Mims Road and National Drive, and take any action necessary.  
42

### 43 4. **P2023-017 (HENRY LEE)**

44 Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a Preliminary Plat  
45 for the Peachtree Meadows Subdivision consisting of 292 single-family residential lots on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson  
46 Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned Development District  
47 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection  
48 of Mims Road and National Drive, and take any action necessary.  
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### 50 5. **P2023-019 (HENRY LEE)**

51 Consider a request by Greg Helsel of Spiars Engineering, Inc. on behalf of Katherine Hamilton of Arcadia Lakes of Somerset Holdings, LLC for the approval of  
52 a Replat of Phase 2 of the Somerset Park Subdivision consisting of 165 single-family residential lots on a 82.809-acre tract of land identified as Tract 7 of the  
53 A. Johnson Survey, Abstract No. 123, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10)  
54 District land uses, generally located at the northwest corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.  
55

### 56 6. **SP2023-019 (BETHANY ROSS)**

57 Consider a request by Ryan Joyce of Michael Joyce Properties on behalf of William Johnson of LTL Family Holdings, LLC for the approval of a Site Plan for the  
58 Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract  
59 No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for Zero Lot Line (ZL-5) District land  
60 uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.  
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62 **Commissioner Welch made a motion to approve the Consent Agenda. Commissioner Llewelyn seconded the motion which passed by a vote of 6-0,**  
63 **with Commissioner Conway absent.**

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V.PUBLIC HEARING ITEMS

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a [Request to Address the Planning and Zoning Commission](#) (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

**7. Z2023-029 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District 8 (PD-8) [Ordinance No.'s 73-48, 84-04, 84-16, 84-19, 85-43, 86-04, 86-64, 86-87, 87-45, 88-17, 88-51, 90-38, 91-43, 92-39, 92-41, 92-43, 02-50, 05-30, 14-15, & 21-38 and Resolution No.'s 87-19 & 87-20] for the purpose of consolidating the regulating ordinances and resolutions for a 230.80-acre tract of land situated within the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), generally located south of Summer Lee Drive and west of Ridge Road [FM-740], and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The City currently has 100 Planned Development Districts which regulate the majority of the properties in the city. He explained that when a Planned Development District is created an ordinance is written it acts as a mini zoning code for that area. Prior to 2015, when they started to amend the ordinances, they would write another ordinance that would supersede portions of the previous ordinances. However, over time when there was Planned Development that was created in the 1970s they would stack ordinances on top of each other and this became a problem when interpreting these because it is easy to miss sections. In 2015 they started writing consolidated ordinances when somebody would come in to develop a piece of property that was in an existing Planned Development District. They would write one (1) ordinance that would supersede the rest for the purpose of consolidating those ordinances and they would make the changes that were being requested by the applicant which would help staff be more efficient during the permitting process. The issue is that there's a lot of Planned Development Districts in the City that were written and had multiple ordinances but are no longer being amended because they are built out. The reason we proposed this program to the City Council is because in a residential area we continue to issue permits because homeowners will put in accessory structures, pools and retaining walls and properties will be re-developed. On June 5<sup>th</sup>, we proposed the program to the City Council to actually write consolidating ordinances for these PD's that are difficult for residents and Staff to interpret. In accordance with this, the first PD brought forward was Planned Development District 8 (PD-8) which is in Chandlers Landing and was put in place in the 1970s. Today it consists of 200 pages of regulations, 20 regulating ordinances, 2 resolutions and over 100 development cases. Staff should note that unless you know the timing of each of those cases it may be difficult to know what your side yard setbacks are. Staff drafted a consolidated ordinance for all of the 200 pages, 20 regulating ordinances and 2 resolutions and created a 163-page ordinance that is much clearer and is consolidated into one (1) document. The purpose of this is not to make any changes to the land use, standards, or development standards for any property in the Planned Development District. This did not change anything or have any new uses or changes in the standards. What they did was take what they had before and wrote an ordinance that could be easily interpreted by a property owner or developer. Since June 2022 to today there have been over 355 permit requests in the Chandler's Landing Subdivision. Staff mailed out 1,809 notices to occupants and property owners in the Chandlers Landing Subdivision as well as the residents within 500-feet of the subdivision. Staff also notified the Chandlers Landing, The Cabanas at Chandlers Landing, Cutter Hills Ph 2 and Ph 3, Spyglass PH 1, 2 and 3, Lago Vista, Fox Chase and Benton Woods and Rainbow Lakes HOAs.

Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.

Chip Emery  
323 Harbor Landing Drive  
Rockwall, TX 75032

Mr. Emery came forward and added that he has lived in the community for 26 years and was also a Board Member for 13 years and a former Board Member for the Architectural Control Committee for Chandlers. He expressed being in favor of the request.

Mark Sutton  
212 Rainbow Circle  
Rockwall, TX 75032

Mr. Sutton came forward and had questions in regards to the process that was used to convert 200 pages of code to 63 pages.

Director of Planning and Zoning Ryan Miller explained that it took multiple months to go through the ordinances.

Shiratsuki Fontana  
319 Columbia Drive  
Rockwall, TX 75032

Mr. Fontana came forward and asked if there was a mechanism to correct any mistakes in case there were mistakes in the ordinance.

Chairman Deckard asked if anyone else wished to speak; there being no one indicating such, Chairman Deckard closed the public hearing and brought the item back to the Commission for discussion or action.

Vice-Chairman Womble asked if a discrepancy was found in the ordinance would it be handled during that case or would it need to go through the zoning process all over again.

Vice-Chairman Womble made a motion to approve Z2023-029. Commissioner Hustings seconded the motion which passed by a vote of 6-0.

132  
133 Chairman Deckard advised this item will go before City Council on July 17, 2023.  
134

135 8. Z2023-030 (ANGELICA GUEVARA)

136 Hold a public hearing to discuss and consider a request by Christopher Touoboun on behalf of Dennis Lewis of Meals on Wheels Senior Service of Rockwall  
137 County for the approval of a Zoning Change from an Agricultural (AG) District to Light Industrial (LI) District on a 6.21-acre tract of land identified as a portion of  
138 Tract 4 and all of Tract 2 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the  
139 Airport Overlay (AP OV) District, addressed as 1780 Airport Road, and take any action necessary.  
140

141 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting to rezone the property  
142 from an Agricultural (AG) District to Light Industrial (LI) District for the purpose of subdividing the land. The subject property is designated for  
143 Technology/Employment Center which the Light Industrial (LI) District and fits that criteria. In addition, it is considered to be a transitional area  
144 designated by the cross hatch because of the proximity to the rail road and airport. With this being said, the request is in conformance with the  
145 Comprehensive Plan and Future Land Use map. Staff sent out 16 notices to property owners and occupants within 500-feet of the subject property.  
146 There were no HOA's within 1,500-feet of the subject property and, as of tonight, staff has not received any notices in regards to the applicant's  
147 request.  
148

149 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time; there being no one indicating  
150 such, Chairman Deckard closed the public hearing and brought the item back to the Commission for discussion or action.  
151

152 Commissioner Welch made a motion to approve Z2023-030 with staff recommendations. Commissioner Llewellyn seconded the motion which passed  
153 by a vote of 6-0.  
154

155 Chairman Deckard advised this item will go before City Council on July 17, 2023.  
156

157 9. Z2023-031 (ANGELICA GUEVARA)

158 Hold a public hearing to discuss and consider a request by Manuel Tijerina for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established  
159 Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City  
160 of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.  
161

162 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting a Specific Use Permit  
163 (SUP) for a Residential Infill for the purpose of constructing a single-family home. The Code defines an Established Subdivision as any subdivision  
164 that consists of five or more lots, is 90% developed, and has been in existence for ten (10) years. The Highridge Estates Subdivision has been in  
165 existence since 1972, consists of 99 lots and is more than 90% developed. In cases like these, the Planning and Zoning Commission and City Council  
166 are asked to consider the proposed size, location, and architecture of the home compared to the existing housing in the area. The applicants originally  
167 indicated 5-foot setbacks, which was the only area of non-compliance, but have since changed those back to 6-feet which is in conformance with  
168 the zoning requirements. Staff sent out 85 notices to property owners and occupants within 500-feet of the subject property. As of tonight, staff  
169 received only one (1) notice in opposition of the applicant's request.  
170

171 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.  
172

173 Carol Mills  
174 706 S. Alamo Rd  
175 Rockwall, TX 75087  
176

177 Mrs. Mills came forward and expressed her opposition to the applicant's request.  
178

179 Maria Tijerina  
180 7922 Garner Rd  
181 Rowlett, TX 75088  
182

183 Mrs. Tijerina came forward and provided additional details in regards to her request.  
184

185 Director of Planning and Zoning Ryan Miller reminded the Commissioners to approve, approve with conditions or deny the request. He reiterated  
186 that it meets the standards for that zoning district.  
187

188 Chairman Deckard asked if anyone else wished to speak; there being no one indicating such, Chairman Deckard closed the public hearing and  
189 brought the item back to the Commission for discussion or action.  
190

191 Chairman Deckard asked if the applicant would be willing to change to a one-story structure and coming back with a different floor plan.  
192

193 Vice-Chairman Womble made a motion to table the item to the next P&Z meeting on July 25, 2023. Chairman Deckard seconded the motion which  
194 passed by a vote of 5-1, with Commissioner Llewellyn dissenting.  
195

196 10. Z2023-032 (BETHANY ROSS)

197 Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall,  
198 LLC for the approval of a Specific Use Permit (SUP) superseding Ordinance No. 22-02 [S-266] and allowing the expansion of an existing Motor Vehicle  
199 Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall

200 County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action  
201 necessary.

202  
203 **Planner Bethany Ross provided a brief summary in regards to the request. In 2017 the current owner of Clay Cooley Hyundai purchased the property**  
204 **and, in 2021, staff engaged the property owner on building a metal fence without a permit used for outside storage. In addition, automotive work was**  
205 **being performed in an open area which is prohibited by the UDC. In 2022, City Council approved a SUP for an expansion of the dealership and**  
206 **addition of a minor automotive repair garage, a car wash, and outside storage. This then led to a site plan that was approved in 2022 as well. However,**  
207 **the applicant recently approached staff about increasing the size of the expansion. The applicant submitted a new concept plan and building**  
208 **elevations to amend the SUP that included increasing the automotive repair garage from three to eight bays, rotating the garage to face Commerce**  
209 **Street, and to change the repair garage from minor to major automotive repair. The concept plan also shows the proposed transformer and fuel**  
210 **storage to be moved to a parking island along the south end of the parking lot. The canopy structure to the west of the building will be increased by**  
211 **one bay and Staff recommended that they consider combining two rows of parking which would allow the ability to place additional landscaping to**  
212 **an island between the two parking isles. However, the applicant chose not to include this in the plans. Planner Ross explained that this building was**  
213 **converted from a house of worship and, as a result, many aspects of the site plan are considered legally non-conforming. The applicants current**  
214 **request increases the non-conformities existing on the site. Staff has identified five (5) deficiencies in the proposed concept plan and building**  
215 **elevations which include variances to the cementitious materials, to the stone, the four-sided architectural requirement, and the screening and**  
216 **exception to the garage orientation. Staff mailed out 17 notices to property owners and occupants within 500-feet of the subject property. As of now**  
217 **staff has received one (1) notice in favor of the request.**

218  
219 **Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.**

220  
221 **Drew Donosky**  
222 **1903 Central Drive**  
223 **Bedford, TX 76021**

224  
225 **Mr. Donosky came forward and provided additional details in regards to the request.**

226  
227 **Chairman Deckard asked if anyone else wished to speak; there being no one indicating such, Chairman Deckard closed the public hearing and**  
228 **brought the item back to the Commission for discussion or action.**

229  
230 **Commissioner Welch made a motion to deny Z2023-032. Vice-Chairman Womble seconded the motion to deny which passed by a vote of 6-0.**

231  
232 **Chairman Deckard advised this item will go before City Council on July 17, 2023.**

233  
234 **VI. ACTION ITEMS**

235  
236 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*  
237 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*  
238

239 **11. MIS2023-008 (BETHANY ROSS)**  
240 **Discuss and consider a request by Guicharme Credidio Braga for the approval of a Miscellaneous Case for a Special Exception to the Minimum Lot**  
241 **Width/Frontage requirements stipulated by Ordinance No. 16-01 to allow a lot less than 50-feet in width on a 0.495-acre tract of land identified as a portion of**  
242 **Lots 1354 & 1359 and all of Lots 1355 & 1356 of Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development**  
243 **District 75 (PD-75) [Ordinance No. 16-01] for Single-Family 7 (SF-7) District land uses, addressed as 327 Nicole Drive, and take any action necessary.**

244  
245 **Planner Bethany Ross provided a brief summary in regards to the request. The applicant is requesting a special exception to facilitate the subdivision**  
246 **of the existing tract into three (3) parcels of land. One of the three lots proposed will have a lot width of 45-feet, which is 5-feet less of the required**  
247 **minimum lot width of 50-feet. Staff would like to note that this would only allow a 35-foot building envelope for the 45-foot lot. Planner Ross explained**  
248 **that City Council and P&Z have not approved any lots with this width before. However, she indicated that this is a discretionary decision for City**  
249 **Council.**

250  
251 **Commissioner Hustings asked if there are lots smaller then what the applicant is requesting.**

252  
253 **Commissioner Welch asked if they are trying to build on both lots.**

254  
255 **Guicharme Braga**  
256 **327 Nicole Drive**  
257 **Rockwall, TX 75032**

258  
259 **Mr. Braga came forward and provided additional details in regards to the request.**

260  
261 **Commissioner Hustings made a motion to approve MIS2023-008. Commissioner Thompson seconded the motion which passed by a vote of 4-2, with**  
262 **Commissioners Welch and Llewelyn dissenting.**

263  
264 **Chairman Deckard advised this item will go before City Council on July 17, 2023.**

265  
266 **12. SP2023-020 (HENRY LEE)**



267 Discuss and consider a request by Veronica O'Neal on behalf of Ashwani Agarwal and Azul Kumar for the approval of a Site Plan for a *Daycare Facility* on a  
268 2.308-acre tract of land identified as Lot 21 of the Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed  
269 as 5811 Horizon Road [FM-3097], and take any action necessary.

270  
271 **Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting a site plan for the expansion of an existing parking**  
272 **lot for the purpose of establishing a daycare facility. The landscaping meets the requirements for the landscape buffer and onsite landscaping;**  
273 **however, it is not meeting the parking requirements. Additionally, the Code says that if you're not in an Overlay District, parking shall be behind the**  
274 **primary structure. In this case, their expanding is non-conforming because there is already parking in front of the primary structure.**

275  
276 **Vice-Chairman Womble asked if it meets the fire requirements.**

277  
278 **Dr. Veronica O'Neal**  
279 **5485 FM 3097**  
280 **Rockwall, TX 75032**

281  
282 **Dr. O'Neal came forward and provided additional details in regards to the request.**

283  
284 **Commissioner Llewelyn made a motion to approve SP2023-020. Commissioner Hustings seconded the motion which passed by a vote of 6-0.**

285  
286 **13. SP2023-021 (HENRY LEE)**

287 Discuss and consider a request by Matthew J. Peterson of DB Constructors, Inc. on behalf of Jeff Fleming for the approval of a Site Plan for a *New and/or Used*  
288 *Indoor Motor Vehicle Dealership/Showroom* on a 1.99- acre portion of a larger 3.853-acre tract of land identified as Tract 2-09 of the J. A. Ramsey Survey,  
289 Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development 46 (PD-46) District for Commercial (C) District land uses, situated  
290 within the SH-276 Overlay (SH-276 OV) District, generally located on the southside of Springer Road east of the intersection of Springer Road and Corporate  
291 Crossing, and take any action necessary.

292  
293 **Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting approval of a site plan. He indicated that the**  
294 **elevations of the building have not changed. The ARB looked at this item tonight and wanted additional landscaping for this site. The applicant will**  
295 **be adding 5-inch accent trees. Also, they will be providing 30% landscaping instead of 15% and will be adding additional landscaping to the front of**  
296 **the building.**

297  
298 **Mathew Peterson**  
299 **DB Constructors**  
300 **2400 Great Southwest Parkway**  
301 **Fort Worth, TX 76106**

302  
303 **Mr. Peterson came forward and provided additional details in regards to the request.**

304  
305 **Commissioner Welch made a motion to approve SP2023-021 with staff recommendations. Commissioner Llewelyn seconded the motion which**  
306 **passed by a vote of 6-0.**

307  
308 **VII.DISCUSSION ITEMS**

309  
310 **14. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).**

311  
312 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.**

313  
314 **VIII.ADJOURNMENT**

315  
316 **Chairman Deckard adjourned the meeting at 7:12 PM.**

317  
318 **PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_**  
319 **\_\_\_\_\_, 2023.**

320  
321  
322 \_\_\_\_\_  
323 **Derek Deckard, Chairman**

324  
325 **Attest:**  
\_\_\_\_\_  
**Melanie Zavala, Planning Coordinator**



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** July 25, 2023  
**APPLICANT:** Jeff Carroll; *Carroll Architects*  
**CASE NUMBER:** P2023-022; *Replat for Lots 8 & 9, Block A, Rockwall Market Center East Addition*

---

### SUMMARY

Consider a request by Jeff Carroll of Carroll Architects on behalf of Eric Borkenhagen of Kohl's for the approve of a Replat for Lots 8 & 9, Block A, Rockwall Market Center East Addition being a 7.383-acre parcel of land identified as Lot 7, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 828 Rochell Court, and take any action necessary.

### PLAT INFORMATION

- The applicant is requesting the approval of a Replat for a 7.383-acre parcel of land (*i.e. Lot 7, Block A, Rockwall Market Center East Addition*) for the purpose of establishing the fire lanes and utility easements necessary to develop an *Animal Clinic for Small Animals without Outside Pens* on the subject property.
- On November 7, 1960 the subject property was annexed by *Ordinance 60-03 [Case No. A1960-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to City's historic zoning maps, at some point between November 7, 1960 and January 3, 1972, the subject property was rezoned from an Agricultural (AG) District to a Commercial (C) District. In 1999, the subject property was developed with an 86,484 SF *General Retail Store (i.e. Kohl's)*. On November 29, 2022, the Planning and Zoning Commission approved a miscellaneous case [*Case No. MIS2022-021*] for the adjacent property (*i.e. Kohls*) to allow the deficiency of 87 parking spaces. On January 10, 2023, the Planning and Zoning Commission approved a site plan [*Case No. SP2022-062*] to allow the construction of a 6,800 SF *Animal Clinic for Small Animals without Outside Pens* on the subject property.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 8 & 9, Block A, Rockwall Market Center East Addition* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted

engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 7/21/2023

PROJECT NUMBER: P2023-022  
PROJECT NAME: Lots 8 & 9, Block A Rockwall Market Center East Addition  
SITE ADDRESS/LOCATIONS: 828 ROCHELL CT

CASE CAPTION: Consider a request by Jeff Carroll of Carroll Architects on behalf of Eric Borkenhagen of Kohl's for the approve of a Replat for Lots 8 & 9, Block A, Rockwall Market Center East Addition being a 7.383-acre parcel of land identified as Lot 7, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 828 Rochell Court, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	07/20/2023	Approved w/ Comments

07/20/2023: P2023-022: Replat for Lots 8 & 9, Block A, Rockwall Market Center East Addition  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for for Lots 8 & 9, Block A, Rockwall Market Center East Addition being a 7.383-acre parcel of land identified as Lot 7, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, and addressed as 828 Rochell Court.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (P2023-022) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to reflect the one below: (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

FINAL PLAT  
LOTS 8 & 9, Block A  
ROCKWALL MARKET CENTER EAST ADDITION  
BEING A REPLAT OF  
LOT 7, BLOCK A  
ROCKWALL MARKET CENTER EAST ADDITION  
BEING  
1 LOT  
7.383-ACRES OR 321,603.48 SF  
SITUATED IN THE  
E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 84  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please identify two (2) State Plane Coordinates on the Replat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Indicate all existing and/or proposed corner clips and any subsequent dedication. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please include the setback adjacent to Rochell Court. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Please indicate Right-of-way dedication for Rochell Court. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Indicate the fire lane/shared access easement on plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
MAYOR OF THE CITY OF ROCKWALL  
PLANNING AND ZONING COMMISSION CHAIRMAN

\_\_\_\_\_  
CITY SECRETARY

\_\_\_\_\_  
CITY ENGINEER

M.11 Provide the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.12 Provide the new Owner's Certificate of Dedication below (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

STATE OF TEXAS

COUNTY OF ROCKWALL

WHEREAS [OWNER'S NAME], BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows: [LEGAL DESCRIPTION]

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS



COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the [SUBDIVISION NAME] subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the [SUBDIVISION NAME] subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.

Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.

The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

\_\_\_\_\_  
PROPERTY OWNER SIGNATURE

\_\_\_\_\_  
SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST [IF APPLICABLE]

M.13 The surveyor does not need a notary; only their seal is needed. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.15 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: July 25, 2023

I.16 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jonathan Browning	07/19/2023	Approved w/ Comments
No Comments			

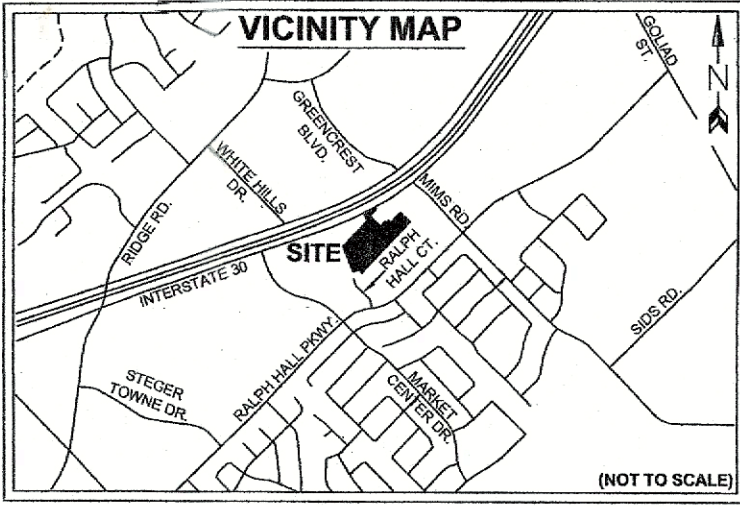
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/21/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/20/2023	Needs Review
07/20/2023: Need to confirm that the abandoned easement is not Fire Lane. Currently, the easement is marked as a fire lane, and the historic plans for Kohl's show it as a fire lane.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/17/2023	Approved
No Comments			

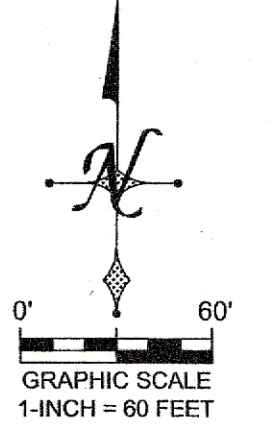
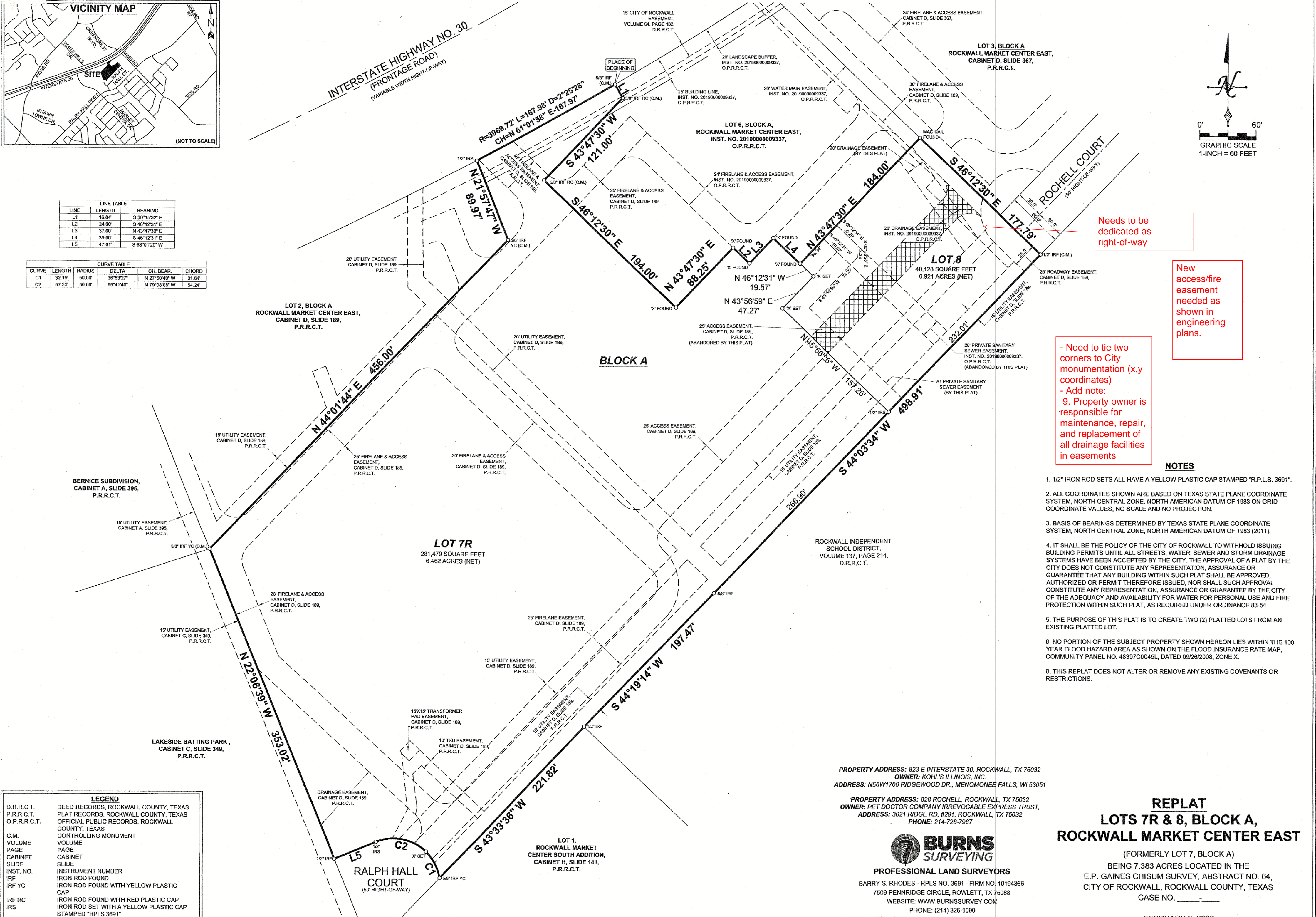
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/19/2023	Approved
No Comments			





LINE	LENGTH	BEARING
L1	16.84'	S 30°15'32" E
L2	24.00'	S 46°12'31" E
L3	37.00'	N 43°47'30" E
L4	39.00'	S 46°12'31" E
L6	47.61'	S 68°01'20" W

CURVE	LENGTH	RADIUS	DELTA	CH. BEAR.	CHORD
C1	32.19'	50.00'	36°53'27"	N 27°50'40" W	31.64'
C2	57.33'	50.00'	65°41'40"	N 79°08'08" W	54.24'



Needs to be dedicated as right-of-way

New access/fire easement needed as shown in engineering plans.

- Need to tie two corners to City monumentation (x,y coordinates)  
 - Add note:  
 9. Property owner is responsible for maintenance, repair, and replacement of all drainage facilities in easements

**NOTES**

- 1/2" IRON ROD SETS ALL HAVE A YELLOW PLASTIC CAP STAMPED "R.P.L.S. 3691".
- ALL COORDINATES SHOWN ARE BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
- BASIS OF BEARINGS DETERMINED BY TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 (2011).
- IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54
- THE PURPOSE OF THIS PLAT IS TO CREATE TWO (2) PLATTED LOTS FROM AN EXISTING PLATTED LOT.
- NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN THE 100 YEAR FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48397C0045L, DATED 09/26/2008, ZONE X.
- THIS REPLAT DOES NOT ALTER OR REMOVE ANY EXISTING COVENANTS OR RESTRICTIONS.

LEGEND	
D.R.R.C.T.	DEED RECORDS, ROCKWALL COUNTY, TEXAS
P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
C.M.	CONTROLLING MONUMENT
VOLUME	VOLUME
PAGE	PAGE
CABINET	CABINET
SLIDE	SLIDE
INST. NO.	INSTRUMENT NUMBER
IRF	IRON ROD FOUND
IRF YC	IRON ROD FOUND WITH YELLOW PLASTIC CAP
IRF RC	IRON ROD FOUND WITH RED PLASTIC CAP
IRS	IRON ROD SET WITH A YELLOW PLASTIC CAP STAMPED "RPLS 3691"

PROPERTY ADDRESS: 823 E INTERSTATE 30, ROCKWALL, TX 75032  
 OWNER: KOHL'S ILLINOIS, INC.  
 ADDRESS: N56W1700 RIDGEWOOD DR., MENOMONEE FALLS, WI 53051

PROPERTY ADDRESS: 828 ROCHELL, ROCKWALL, TX 75032  
 OWNER: PET DOCTOR COMPANY IRREVOCABLE EXPRESS TRUST,  
 ADDRESS: 3021 RIDGE RD, #291, ROCKWALL, TX 75032  
 PHONE: 214-728-7987



**PROFESSIONAL LAND SURVEYORS**  
 BARRY S. RHODES - RPLS NO. 3691 - FIRM NO. 10194366  
 7509 PENNRIDGE CIRCLE, ROWLETT, TX 75088  
 WEBSITE: WWW.BURNSSURVEY.COM  
 PHONE: (214) 326-1090  
 JOB NO.: 202300281 DATE: 02/09/2023 DRAWN BY: TD

**REPLAT**  
**LOTS 7R & 8, BLOCK A,**  
**ROCKWALL MARKET CENTER EAST**

(FORMERLY LOT 7, BLOCK A)  
 BEING 7.383 ACRES LOCATED IN THE  
 E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64,  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CASE NO. \_\_\_\_\_

FEBRUARY 9, 2023





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

## PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 828 ROCHELL CT.  
 SUBDIVISION ROCKWALL MARKET CENTER EAST LOT 7R-B BLOCK A  
 GENERAL LOCATION KOHL'S PARKING LOT Adj. ROCHELL CT.

## ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING C-COMMERCIAL CURRENT USE PARKING LOT  
 PROPOSED ZONING C-COMMERCIAL PROPOSED USE PET DOCTOR VET CLINIC  
 ACREAGE 1.117 LOTS [CURRENT] 1 LOTS [PROPOSED] 2

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER KOHL'S  APPLICANT CARROLL ARCHITECTS  
 CONTACT PERSON ERIC BORKENHAGEN CONTACT PERSON JEFF CARROLL  
 ADDRESS N 56 W. 17000 Ridgewood DR ADDRESS 750 E. I-30  
SUITE 110  
 CITY, STATE & ZIP MENOMONEE FALLS, WI. 53051 CITY, STATE & ZIP ROCKWALL, TX 75087  
 PHONE 262-703-6014 PHONE 214.632.1762  
 E-MAIL eric.borkenhagen@kohls.com E-MAIL JC@CARROLLARCH.COM

## NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Eric Borkenhagen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

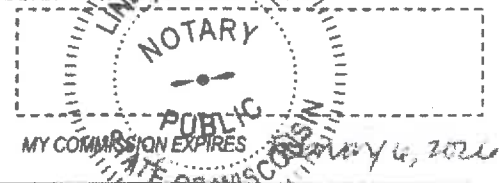
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF July, 2023.

OWNER'S SIGNATURE Eric Borkenhagen

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

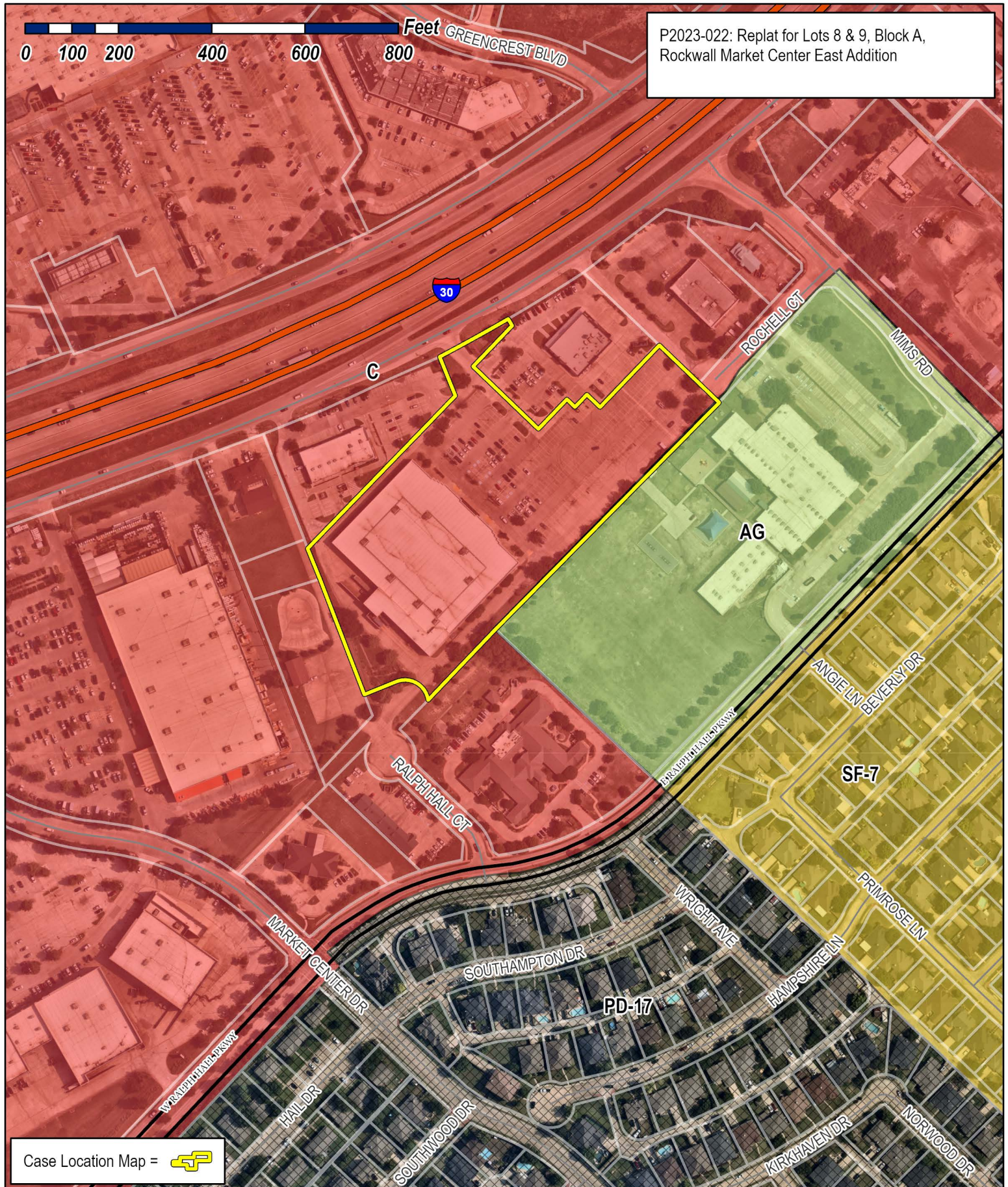
Handwritten Notary Signature







P2023-022: Replat for Lots 8 & 9, Block A, Rockwall Market Center East Addition



Case Location Map =



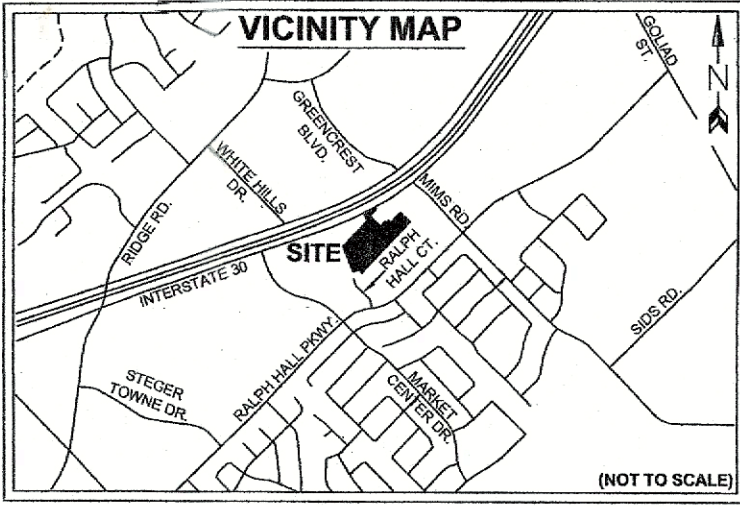
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

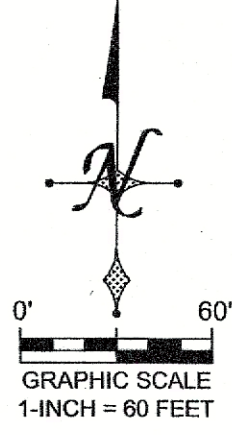
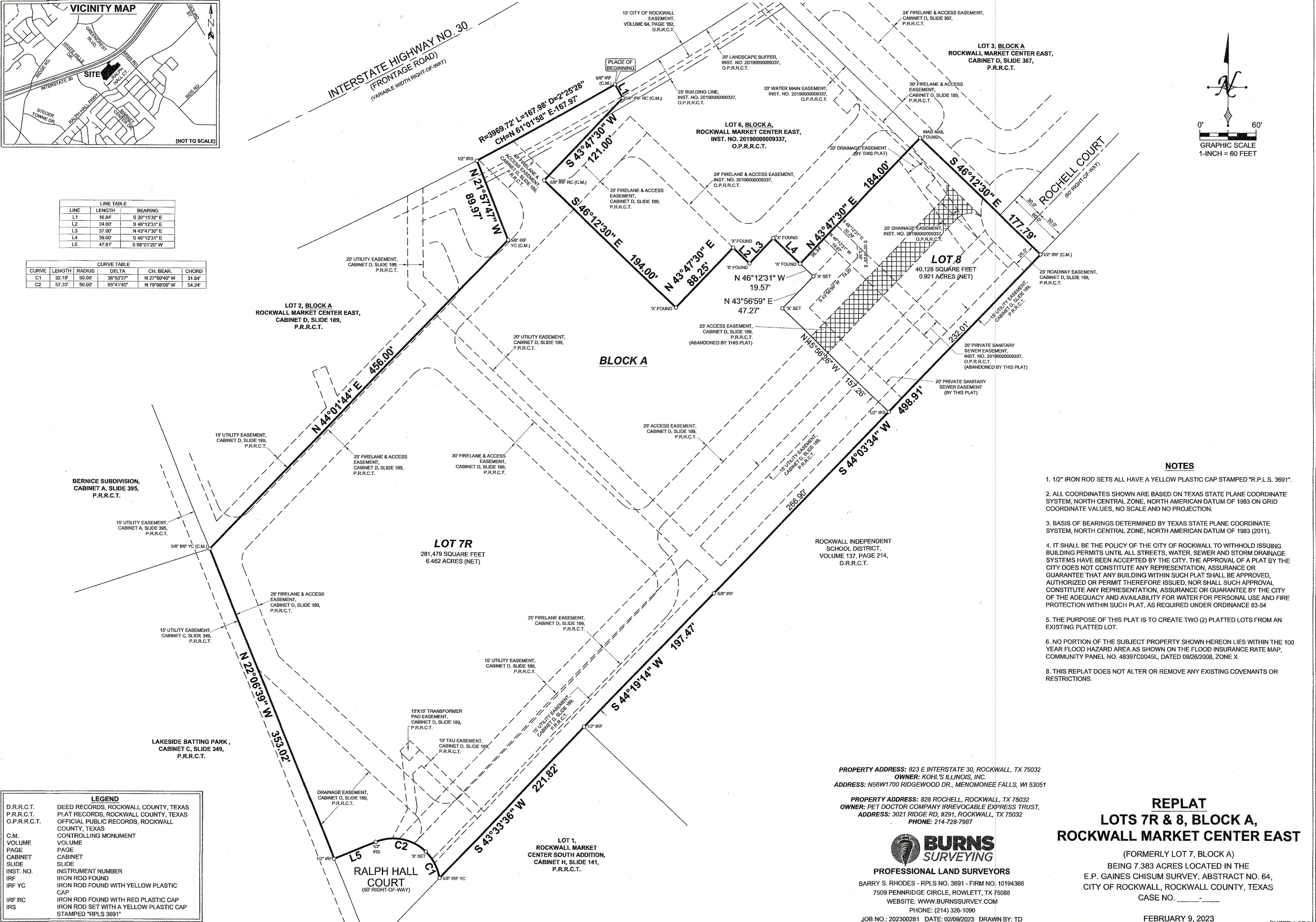






LINE	LENGTH	BEARING
L1	16.84'	S 30°15'32" E
L2	24.00'	S 46°12'31" E
L3	37.00'	N 43°47'30" E
L4	39.00'	S 46°12'31" E
L6	47.61'	S 68°01'20" W

CURVE	LENGTH	RADIUS	DELTA	CH. BEAR.	CHORD
C1	32.19'	50.00'	36°53'27"	N 27°50'40" W	31.64'
C2	57.33'	50.00'	65°41'40"	N 79°08'08" W	54.24'



**NOTES**

- 1/2" IRON ROD SETS ALL HAVE A YELLOW PLASTIC CAP STAMPED "R.P.L.S. 3691".
- ALL COORDINATES SHOWN ARE BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
- BASIS OF BEARINGS DETERMINED BY TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 (2011).
- IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54
- THE PURPOSE OF THIS PLAT IS TO CREATE TWO (2) PLATTED LOTS FROM AN EXISTING PLATTED LOT.
- NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN THE 100 YEAR FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48397C0045L, DATED 09/26/2008, ZONE X.
- THIS REPLAT DOES NOT ALTER OR REMOVE ANY EXISTING COVENANTS OR RESTRICTIONS.

LEGEND	
D.R.R.C.T.	DEED RECORDS, ROCKWALL COUNTY, TEXAS
P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
C.M.	CONTROLLING MONUMENT
VOLUME	VOLUME
PAGE	PAGE
CABINET	CABINET
SLIDE	SLIDE
INST. NO.	INSTRUMENT NUMBER
IRF	IRON ROD FOUND
IRF YC	IRON ROD FOUND WITH YELLOW PLASTIC CAP
IRF RC	IRON ROD FOUND WITH RED PLASTIC CAP
IRS	IRON ROD SET WITH A YELLOW PLASTIC CAP STAMPED "RPLS 3691"

PROPERTY ADDRESS: 823 E INTERSTATE 30, ROCKWALL, TX 75032  
 OWNER: KOHL'S ILLINOIS, INC.  
 ADDRESS: N56W1700 RIDGEWOOD DR., MENOMONEE FALLS, WI 53051  
 PROPERTY ADDRESS: 828 ROCHELL, ROCKWALL, TX 75032  
 OWNER: PET DOCTOR COMPANY IRREVOCABLE EXPRESS TRUST,  
 ADDRESS: 3021 RIDGE RD, #291, ROCKWALL, TX 75032  
 PHONE: 214-728-7987



**PROFESSIONAL LAND SURVEYORS**  
 BARRY S. RHODES - RPLS NO. 3691 - FIRM NO. 10194366  
 7509 PENNRIDGE CIRCLE, ROWLETT, TX 75088  
 WEBSITE: WWW.BURNSSURVEY.COM  
 PHONE: (214) 326-1090  
 JOB NO.: 202300281 DATE: 02/09/2023 DRAWN BY: TD

**REPLAT**  
**LOTS 7R & 8, BLOCK A,**  
**ROCKWALL MARKET CENTER EAST**

(FORMERLY LOT 7, BLOCK A)  
 BEING 7.383 ACRES LOCATED IN THE  
 E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64,  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CASE NO. \_\_\_\_\_

FEBRUARY 9, 2023



**OWNER'S DEDICATION**

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

THAT, Kohl's Illinois, Inc. and Pet Doctor Company Irrevocable Express Trust, the undersigned owners of the land shown on this plat, and designated herein as the **LOTS 7R & 8, BLOCK A, ROCKWALL MARKET CENTER EAST**, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **LOTS 7R & 8, BLOCK A, ROCKWALL MARKET CENTER EAST**, subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

Name:
Title:

Name:
Title:

STATE OF TEXAS:
COUNTY OF:
Before me, the undersigned authority, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.

Given upon my hand and seal of office this day of 20.

Notary Public in and for the State of Texas

My commission expires

STATE OF TEXAS:
COUNTY OF:
Before me, the undersigned authority, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.

Given upon my hand and seal of office this day of 20.

Notary Public in and for the State of Texas

My commission expires

**OWNER'S CERTIFICATE**

**STATE OF TEXAS
COUNTY OF ROCKWALL**

WHEREAS, Kohl's Illinois, Inc., and Pet Doctor Company Irrevocable Express Trust, are the sole owners of portions of a tract of land located in the E.P. GAINES CHISUM SURVEY, Abstract No. 64, City of Rockwall, Rockwall County, Texas, being Lot 7, Block A, of Rockwall Market Center East, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 2019000009337, Official Public Records, Rockwall County, Texas, a portion of said tract of land being described in deed to Kohl's Illinois, Inc., recorded in Instrument No. 2008-00392109, Official Public Records, Rockwall County, Texas, and a portion of said tract of land being described in deed to Pet Doctor Company Irrevocable Express Trust, as recorded in Instrument No. 2023000010555, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 5/8 inch iron rod found in the Southeast line of Interstate Highway No. 30, at the Northwest corner of Lot 6, Block A, of said Rockwall Market Center East, same being the Northerly Northeast corner of said Lot 7, Block A;

Thence South 30 deg. 15 min. 32 sec. East, along the common line of said Lots 6 and 7, a distance of 16.84 feet to a 5/8 inch iron rod with a red plastic cap found for corner;

Thence South 43 deg. 47 min. 30 sec. West, along said common line, a distance of 121.00 feet to a 5/8 inch iron rod with a red plastic cap found at the West corner of said Lot 6, Block A;

Thence South 46 deg. 12 min. 30 sec. East, along said common line, a distance of 194.00 feet to an 'X' found at the Westerly South corner of said Lot 6, Block A;

Thence North 43 deg. 47 min. 30 sec. East, along said common line, a distance of 88.25 feet to an 'X' found for corner;

Thence South 46 deg. 12 min. 31 sec. East, along said common line, a distance of 24.00 feet to an 'X' found for corner;

Thence North 43 deg. 47 min. 30 sec. East, along said common line, a distance of 37.00 feet to an 'X' found for corner;

Thence South 46 deg. 12 min. 31 sec. East, along said common line, a distance of 39.00 feet to an 'X' found for corner;

Thence North 43 deg. 47 min. 30 sec. East, a distance of 184.00 feet to a Mag nail found in the Southwest line of Lot 3, Block A, of Rockwall Market Center East, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet D, Slide 367, Plat Records, Rockwall County, Texas, at the common Easterly corner of said Lots 6 and 7, Block A;

Thence South 46 deg. 12 min. 30 sec. East, a distance of 177.79 feet to a 1/2 inch iron rod found in the Northwest line of a tract of land described in deed to Rockwall Independent School District, recorded in Volume 137, Page 214, Deed Records, Rockwall County, Texas, at the South corner of Rochell Court, same being the East corner of said Lot 7, Block A;

Thence South 44 deg. 03 min. 34 sec. West, along said Northwest line, a distance of 498.91 feet to a 5/8 inch iron rod found for corner;

Thence South 44 deg. 19 min. 14 sec. West, a distance of 197.47 feet to a 1/2 inch iron rod found at the West corner of said Rockwall Independent School District tract, same being the North corner of Lot 1, of Rockwall Market Center South Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet H, Slide 141, Plat Records, Rockwall County, Texas;

Thence South 43 deg. 33 min. 36 sec. West, along the Northwest line of said Lot 1, a distance of 221.82 feet to a 5/8 inch iron rod with a yellow plastic cap found in the Northeast line of Ralph Hall Court, at the beginning of a non-tangent curve to the left, having a central angle of 36 deg. 53 min. 27 sec., a radius of 50.00 feet, and a chord bearing and distance of North 27 deg. 50 min. 40 sec. West, 31.64 feet;

Thence Northwesterly along said Northeast line and said curve to the left, an arc distance of 32.19 feet to an 'X' set for corner at the beginning of a curve to the left, having a central angle of 65 deg. 41 min. 40 sec., a radius of 50.00 feet, and a chord bearing and distance of North 79 deg. 08 min. 08 sec. West, 54.24 feet;

Thence Northwesterly, along said curve to the left and North line of said Ralph Hall Court, an arc distance of 57.33 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "RPLS 3691" set for corner;

Thence South 68 deg. 01 min. 20 sec. West, along said North line, a distance of 47.61 feet to a 1/2 inch iron rod found in the Northeast line of Lakeside Batting Park, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 349, Plat Records, Rockwall County, Texas, at the Southwest corner of said Lot 7, Block A;

Thence North 22 deg. 06 min. 39 sec. West, a distance of 353.02 feet to a 5/8 inch iron rod with a yellow plastic cap found at the Northeast corner of said Lakeside Batting Park, same being the Southeast corner of Bernice Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet A, Slide 395, Plat Records, Rockwall County, Texas, same being the Southwest corner of Lot 2, Block A, of said Rockwall Market Center East;

Thence North 44 deg. 01 min. 44 sec. East, a distance of 456.00 feet to a 5/8 inch iron rod with a yellow plastic cap found at the East corner of said Lot 2, Block A;

Thence North 21 deg. 57 min. 47 sec. West, a distance of 89.97 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "RPLS 3691" set in the said Southeast line of Interstate Highway No. 30, at the common Northerly corner of said Lots 2 and 7, Block A, and being at the beginning of a non-tangent curve to the left, having a central angle of 02 deg. 25 min. 28 sec., a radius of 3969.72 feet, and a chord bearing and distance of North 61 deg. 01 min. 58 sec. East, 167.97 feet;

Thence Northeasterly, along said curve to the left and said Southeast line, an arc distance of 167.98 feet the PLACE OF BEGINNING and containing 321,606 square feet or 7.383 acres of land.

**SURVEYOR'S CERTIFICATE**

**NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:**

That I, Barry S. Rhodes, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the corner monuments shown thereon were placed under my personal supervision.

WITNESS MY HAND AT, TEXAS this day of 2023

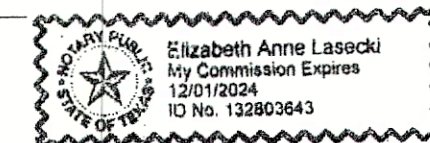
Barry S. Rhodes
Registered Professional Land Surveyor R.P.L.S. No. 3691



STATE OF TEXAS
COUNTY OF DALLAS
BEFORE ME, the undersigned, a Notary Public in and for the said County and State on this day personally appeared Barry S. Rhodes, R.P.L.S. 3691, State of Texas, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this day of 2023

Notary Public in and for the State of Texas
My commission expires:



**CERTIFICATE OF APPROVAL**

**CITY SIGNATURE BLOCK**

Planning & Zoning Commission, Chairman Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the day of

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this day of

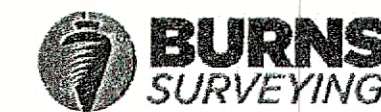
Mayor, City of Rockwall

City Secretary

City Engineer

PROPERTY ADDRESS: 823 E INTERSTATE 30, ROCKWALL, TX 75032
OWNER: KOHL'S ILLINOIS, INC.
ADDRESS: N56W1700 RIDGEWOOD DR., MENOMONEE FALLS, WI 53051

PROPERTY ADDRESS: 828 ROCHELL, ROCKWALL, TX 75032
OWNER: PET DOCTOR COMPANY IRREVOCABLE EXPRESS TRUST,
ADDRESS: 3021 RIDGE RD, #291, ROCKWALL, TX 75032
PHONE: 214-728-7987



PROFESSIONAL LAND SURVEYORS

BARRY S. RHODES - RPLS NO. 3691 - FIRM NO. 10194366

7509 PENNRIDGE CIRCLE, ROWLETT, TX 75088

WEBSITE: WWW.BURNSURVEY.COM

PHONE: (214) 326-1090

JOB NO.: 202300281 DATE: 02/09/2023 DRAWN BY: TD

**REPLAT
LOTS 7R & 8, BLOCK A,
ROCKWALL MARKET CENTER EAST**

(FORMERLY LOT 7, BLOCK A)

BEING 7.383 ACRES LOCATED IN THE
E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO. -

FEBRUARY 9, 2023





# CITY OF ROCKWALL

## PLANNING AND ZONING MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Planning and Zoning Commission

**DATE:** July 25, 2023

**APPLICANT:** Manuel Tijerina

**CASE NUMBER:** Z2023-031; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 709 Forest Trace*

---

On July 20, 2023, staff spoke with Otilio Posadas, on behalf of Manuel Tijerina, in regard to the Specific Use Permit (SUP) request for 709 Forest Trace. Mr. Posadas indicated that the applicant would like to move forward with the two (2) story house that was originally submitted with the request. Mr. Posadas also stated that the square footage of the home would be amended to be smaller; however, staff has not received any plans from Mr. Posadas or the applicant. Based on this staff has provided the same case memo, draft ordinance, and exhibits provided at the July 11, 2023 Planning and Zoning Commission meeting. Should the Planning and Zoning Commission have any questions, staff will be available at the July 25, 2023 Planning and Zoning Work Session Meeting.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission

**DATE:** July 11, 2023

**APPLICANT:** Manuel Tijerina

**CASE NUMBER:** Z2023-031; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 709 Forest Trace*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Manuel Tijerina for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 *Historic Zoning Maps*, the subject property was zoned Single-Family 2 (SF-2) District. Sometime between January 3, 1972 and May 16, 1983, the subject property was rezoned to Single-Family 10 (SF-10) District, and has remained zoned Single-Family 10 (SF-10) District since this change. The subject property has remained vacant since its annexation.

### PURPOSE

The applicant -- *Manuel Tijerina* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 709 Forest Trace. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is are three (3) parcels of land (*i.e. 703, 705, and 707 Forest Trace*) developed with single-family homes. North of these properties is W. Boydston Avenue, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is one (1) parcel of land (*i.e. 202 W. Boydston Avenue*) developed with a single-family home. All of these properties are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are four (4) parcels of land (*i.e. 711, 713, 715, and 201 Forest Trace*) developed with single-family homes. Beyond this is the Lake Meadows Subdivision, which consists of 26 single-family residential lots on 18.53-acres. These properties and this subdivision are zoned Single-Family 10 (SF-10) District. South of this is Glenn Avenue, which is identified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

East: Directly east of the subject property are two (2) parcels of land (*i.e. 706 and 710 S. Alamo Road*) developed with single-family homes that are zoned Single-Family 10 (SF-10) District. East of this is the intersection of S. Alamo Road and W. Ross Street. Both of these roadways are identified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond

this are Lots 1-7 of the Amachris Place Subdivision and Lot 5, Block F, of the Sanger Addition which are zoned Planned Development District 12 (PD-12), as well as a portion of the Sanger Subdivision (*i.e. Lots 6-13, Block M, Sanger Addition*) zoned Zero Lot Line 5 (ZL-5) District.

West: Directly west of the subject property are two (2) parcels of land (*i.e. 708 and 710 Forest Trace*) developed with single-family homes. East of these are an additional two (2) parcels of land (*i.e. 707 and 709 Ridgeview Drive*) developed with single-family homes and are zoned Single-Family 10 (SF-10) District. Beyond this is Ridgeview Drive, which is identified an R2 (*i.e. residential, two (2) lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is located in the Highridge Estates Subdivision, which has been in existence since 1972, consists of 99 single-family residential lots, and is more than 90.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Forest Trace compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Forest Trace	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Forest Trace are oriented towards Forest Trace.	The front elevation of the home will face onto Forest Trace.
Year Built	1976-2003	N/A
Building SF on Property	2,509 SF – 4,730 SF	4,237 SF
Building Architecture	Traditional Brick/Stone Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	6-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) foot rear yard setback.	10-Feet
Building Materials	HardiBoard/HardiePlank, Brick, and Stone.	Combination of Brick, Stone, and Siding
Paint and Color	White, Cream, Red, Pink, Beige, and Brown	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the rear of the homes and not visible from Forest Trace.	The garage will be located in the rear of the proposed home.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Forest Trace and the proposed building elevations in the attached packet. The approval of this



request is a discretionary decision to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

## **NOTIFICATIONS**

On June 22, 2023, staff mailed 85 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Bent Creek Condos, Stonebridge Meadows, and Highridge Estates Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices in regard to the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: *Hyli*

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 709 Forest Trace

SUBDIVISION High Ridge Estates

LOT 13 BLOCK A

GENERAL LOCATION Skolisel & Boydston Ave

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_

CURRENT USE Vgent

PROPOSED ZONING \_\_\_\_\_

PROPOSED USE New Home Construction

ACREAGE \_\_\_\_\_

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Manuel Tijerina

APPLICANT \_\_\_\_\_

CONTACT PERSON Manuel Tijerina

CONTACT PERSON Olivia Pasadas

ADDRESS 7922 Garner Rd

ADDRESS 41 Anna Leis Dr

CITY, STATE & ZIP Rowlett, TX 75088

CITY, STATE & ZIP Waxahatchie TX 75167

PHONE 214-773-9971

PHONE 214 284 5571

E-MAIL manueltijerina70@gmail.com

E-MAIL OlPasadas@gmail.com

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Manuel Tijerina [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

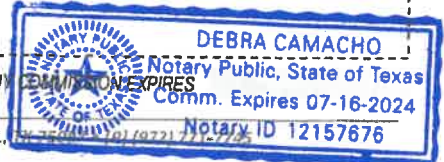
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15<sup>th</sup> DAY OF June 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF June, 2023

OWNER'S SIGNATURE Manuel Tijerina

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Debra Camacho







# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



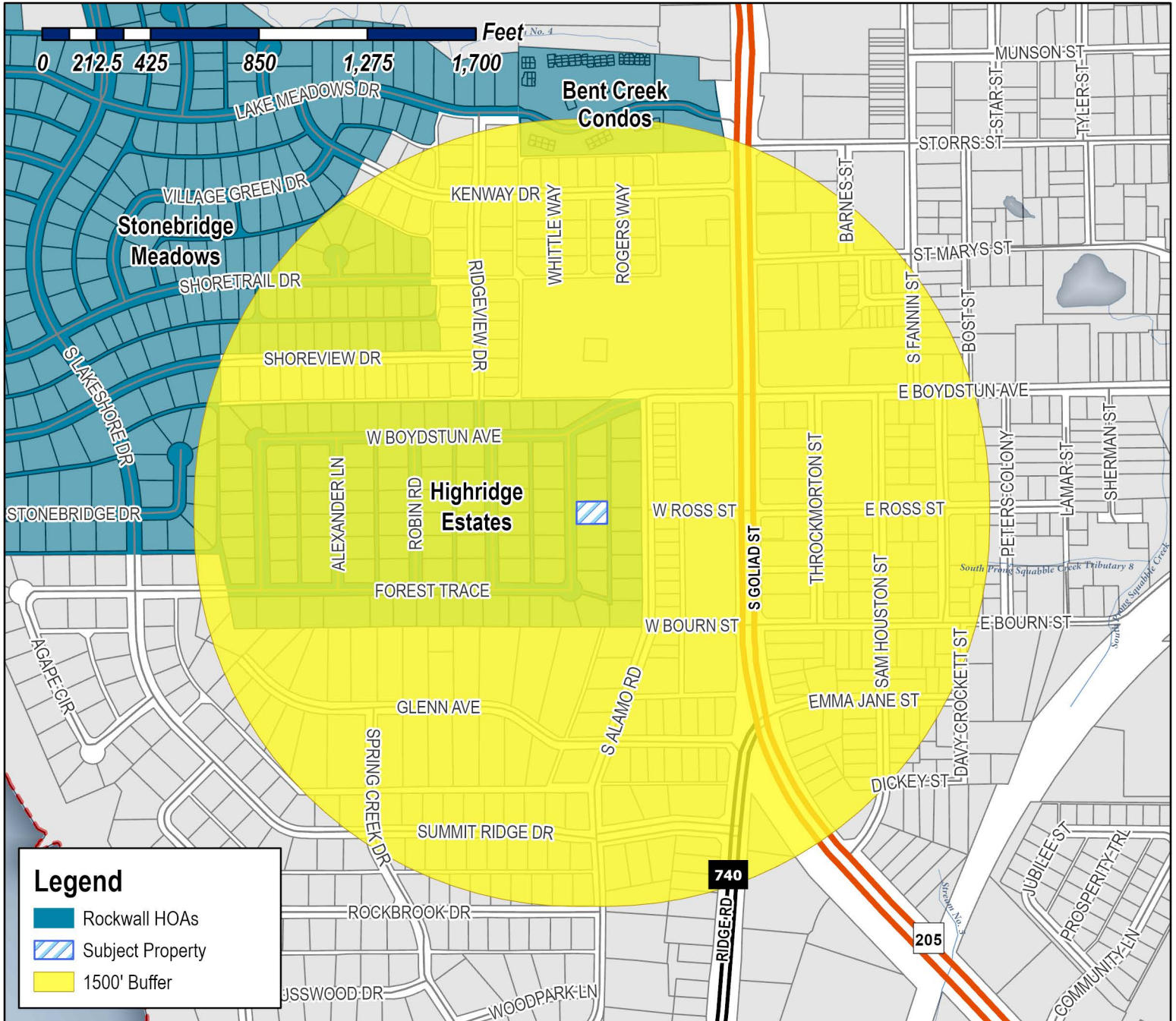




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**Case Number:** Z2023-031  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 709 Forest Trace

**Date Saved:** 6/16/2023  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program [Z2023-031]  
**Date:** Monday, June 19, 2023 3:54:11 PM  
**Attachments:** [HOA Map \(06.16.2023\).pdf](#)  
[Public Notice \(P&Z\) - \(06.19.2023\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [June 23, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 11, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 17, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
**Z2023-031: SUP for Residential Infill**

Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

Thank you,

*Melanie Zavala*

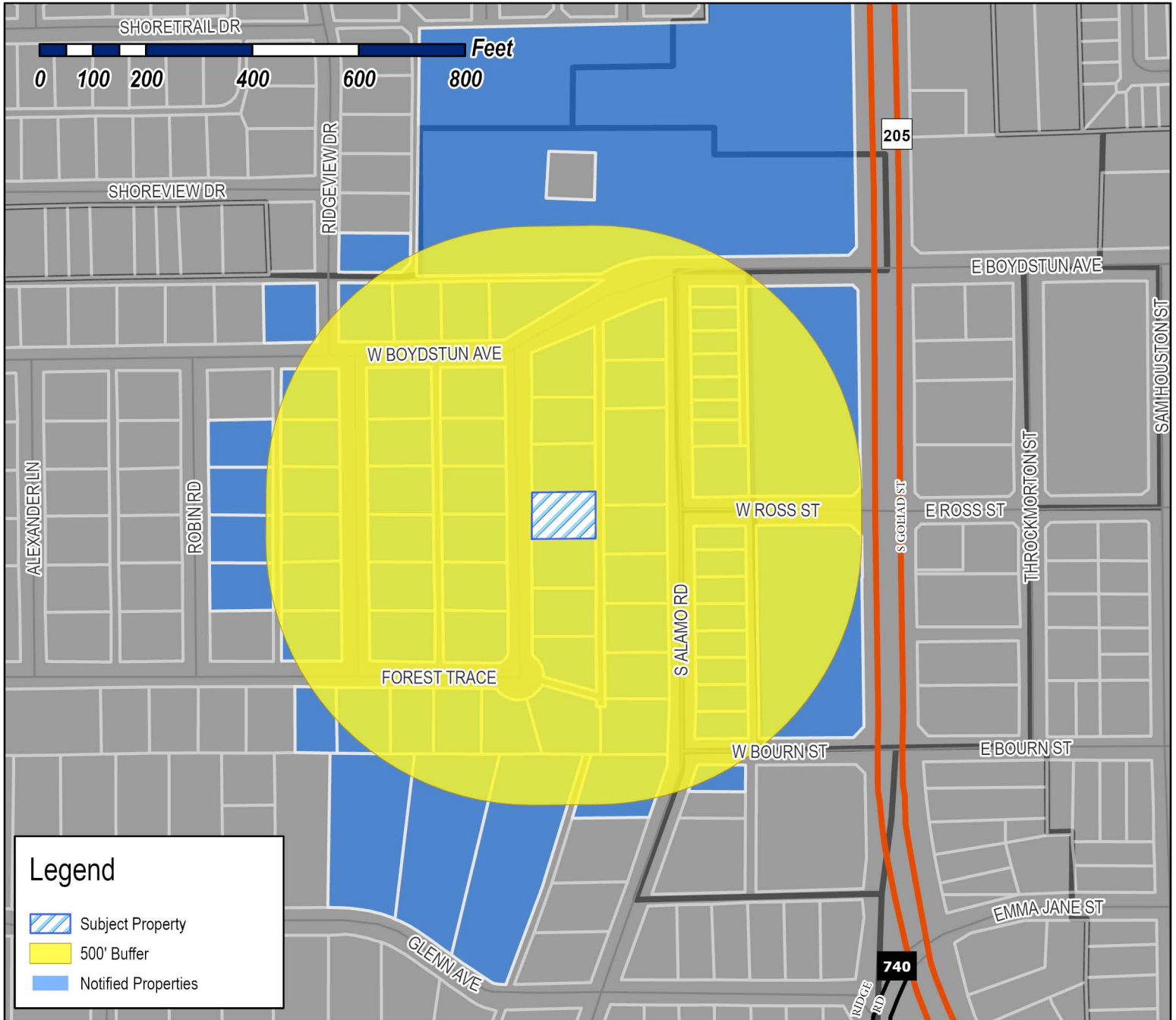
Planning Coordinator  
City of Rockwall Planning & Zoning  
385 S. Goliad Street  
Rockwall, TX 75087  
Office: 972-771-7745  
Direct: 972-771-6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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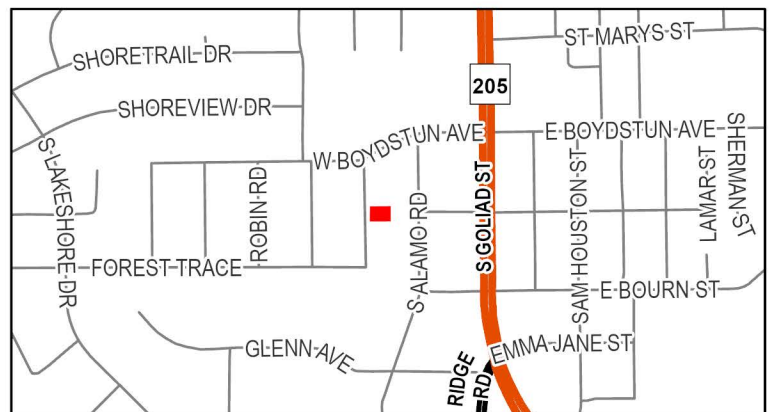
**Legend**

-  Subject Property
-  500' Buffer
-  Notified Properties

**Case Number:** Z2023-031  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 709 Forest Trace

**Date Saved:** 6/16/2023

For Questions on this Case Call: (972) 771-7746





BAUMANN HARRY EDWARD  
10 WATERS EDGE CT  
HEATH, TX 75032

MCCAMPBELL CHARLES C & PATRICIA S  
1203 WYNDEN CREEK DR  
HOUSTON, TX 77056

OTTO IRIS  
1502 S 1ST ST STE 3  
GARLAND, TX 75040

TIJERINA MANUEL  
1713 MISSION DR  
GARLAND, TX 75042

SCROGGS CHARLES E AND MARLA D  
1748 BISON MEADOW LANE  
HEATH, TX 75032

RADNEY JAMES C  
1972 CR 2296  
QUINLAN, TX 75474

GIBSON CHARLES D AND LINDSAY K  
201 FOREST TRACE  
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE  
202 GLENN AVE  
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP  
202 N SAN JACINTO ST  
ROCKWALL, TX 75087

RUESS JOHN CHARLES & KATHY LEA  
202 W BOYDSTUN ST  
ROCKWALL, TX 75087

RESIDENT  
203 FOREST TRACE  
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY  
204 GLENN AVE  
ROCKWALL, TX 75087

MARKS RICHARD R & JUNE  
TRUSTEES OF THE MARKS FAMILY LIVING TRUST  
204 W BOYDSTUN AVE  
ROCKWALL, TX 75087

HAYDICKY JOSEPH N  
205 FOREST TRACE  
ROCKWALL, TX 75087

ANGIEL JOHN H & KAY M  
206 GLENN AVE  
ROCKWALL, TX 75087

REX AND PATTY PREDDY FAMILY TRUST OF 2011  
REX M PREDDY AND PATTI S PREDDY- TRUSTEES  
206 WEST BOYDSTUN AVE  
ROCKWALL, TX 75087

BROWN BREANNE ELIZABETH STRAWN AND  
AARON KRISTOPHER  
207 FOREST TRACE  
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA  
208 BOYDSTUN AVE  
ROCKWALL, TX 75087

STOVALL RAYMOND P  
2404 DOVE CREEK DR  
LITTLE ELM, TX 75068

ST CLAIR DOUG & KELLY  
301 FOREST TRACE  
ROCKWALL, TX 75087

COMPTON HAYDEN AND TAYLOR LOVERA  
302 W BOYDSTUN AVE  
ROCKWALL, TX 75087

CONFIDENTIAL  
303 FOREST TRACE  
ROCKWALL, TX 75087

ROGGE CONNIE PENNINGTON  
517 RIDGEVIEW DR  
ROCKWALL, TX 75087

RESIDENT  
602 S GOLIAD  
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL  
610 S GOLIAD ST  
ROCKWALL, TX 75087

THE SCUDDER FAMILY LIVING TRUST  
664 SORITA CIR  
HEATH, TX 75032

REED DARLENE  
701 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
702 S ALAMO DR  
ROCKWALL, TX 75087

CRESPO DENYS AND HALEY  
703 FOREST TRACE  
ROCKWALL, TX 75087

JOHNSON ROBERT M AND CATHY  
703 RIDGEVIEW DRIVE  
ROCKWALL, TX 75087

RESIDENT  
703 S ALAMO  
ROCKWALL, TX 75087

FREED SARAH  
704 FOREST TRACE  
ROCKWALL, TX 75087

PASSON BRETT A & LAURIE J  
704 RIDGEVIEW DR  
ROCKWALL, TX 75087

RESIDENT  
704 S ALAMO DR  
ROCKWALL, TX 75087

CULLINS JENNIFER L  
705 FOREST TRACE  
ROCKWALL, TX 75087

SCHLUMPF REVOCABLE TRUST  
C/O ROBERT LOUIS AND  
705 RIDGEVIEW DR  
ROCKWALL, TX 75087

STROMAN ROBERT E & JUDY DANIELS  
705 ROBIN RD  
ROCKWALL, TX 75087

RESIDENT  
705 S ALAMO  
ROCKWALL, TX 75087

FORD CLYDE G  
706 FOREST TRACE  
ROCKWALL, TX 75087

REYNOLDS MICHAEL EUGENE & FRANCES S  
706 RIDGEVIEW DRIVE  
ROCKWALL, TX 75087

MILLS CHARLES O  
706 S ALAMO RD  
ROCKWALL, TX 75087

WRIGHT MELISSA ANN &  
DAVID SCOTT  
707 FOREST TRCE  
ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE  
707 RIDGEVIEW DR  
ROCKWALL, TX 75087

FLOWERS DONALD  
707 ROBIN DR  
ROCKWALL, TX 75087

RESIDENT  
707 S ALAMO  
ROCKWALL, TX 75087

KELEMEN ANNA V AND  
MATTHEW BURBRIDGE  
708 FOREST TRACE  
ROCKWALL, TX 75087

FLOURA ROSEANN EXECUTOR  
708 RIDGEVIEW DR  
ROCKWALL, TX 75087

RESIDENT  
709 FOREST TRACE  
ROCKWALL, TX 75087

RESIDENT  
709 ROBIN RD  
ROCKWALL, TX 75087

FALCON ANN L & LEONARD  
709 RIDGEVIEW DR  
ROCKWALL, TX 75087

FLEMING LINDA  
709 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
710 RIDGEVIEW DR  
ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY  
710 FOREST TRACE  
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT  
710 S ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
710 S GOLIAD ST  
ROCKWALL, TX 75087

SMITH MARY AND KEITH H  
711 FOREST TRACE  
ROCKWALL, TX 75087

CONWAY SCOTT A & DEIRDRE M  
711 RIDGEVIEW  
ROCKWALL, TX 75087

MUNOZ THOMAS & SUZANNE  
711 ROBIN DR  
ROCKWALL, TX 75087

POPP KATHLEEN  
711 S ALAMO  
ROCKWALL, TX 75087

GRAY JIM  
712 FOREST TRACE  
ROCKWALL, TX 75087



MORI DANIEL J & JUDY  
712 RIDGEVIEW DR  
ROCKWALL, TX 75087

HILLMAN DORIANN AND  
JOEL OTT  
713 FOREST TRACE  
ROCKWALL, TX 75087

COHEN MARK A  
713 RIDGEVIEW DR  
ROCKWALL, TX 75087

SHERA DEBORAH K  
713 S ALAMO RD  
ROCKWALL, TX 75087

COLLETT CYNTHIA DAVISS  
714 FOREST TRCE  
ROCKWALL, TX 75087

SIPLE MARIAN C  
714 RIDGEVIEW DR  
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P  
715 FOREST TRCE  
ROCKWALL, TX 75087

MILLS CHARLES O  
715 S ALAMO RD  
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN  
801 S ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
802 S GOLIAD  
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S  
803 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
804 S ALAMO DR  
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA  
805 S ALAMO RD  
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST  
SHARON K FRENCH, TRUSTEE  
806 SOUTH ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
807 S ALAMO RD  
ROCKWALL, TX 75087

KELLY RYAN AND  
LACEY WALLACE  
808 S ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
809 ALAMO RD  
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE  
810 S ALAMO ROAD  
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE  
811 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
813 S ALAMO RD  
ROCKWALL, TX 75087

RAMSEY JUDY LYNN  
815 S ALAMO RD  
ROCKWALL, TX 75087

CROSBY SILAS SAMUEL AND RACHEL E  
8706 WESTFIELD DRIVE  
ROWLETT, TX 75088

BRUNNER WILLIAM E & MARGIE L  
895 S ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
902 S ALAMO  
ROCKWALL, TX 75087

ANDREWS VIRGINIA  
PO BOX 254  
REPUBLIC, MO 65738

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-031: SUP for Residential Infill**

Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2023-031: SUP for Residential Infill**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

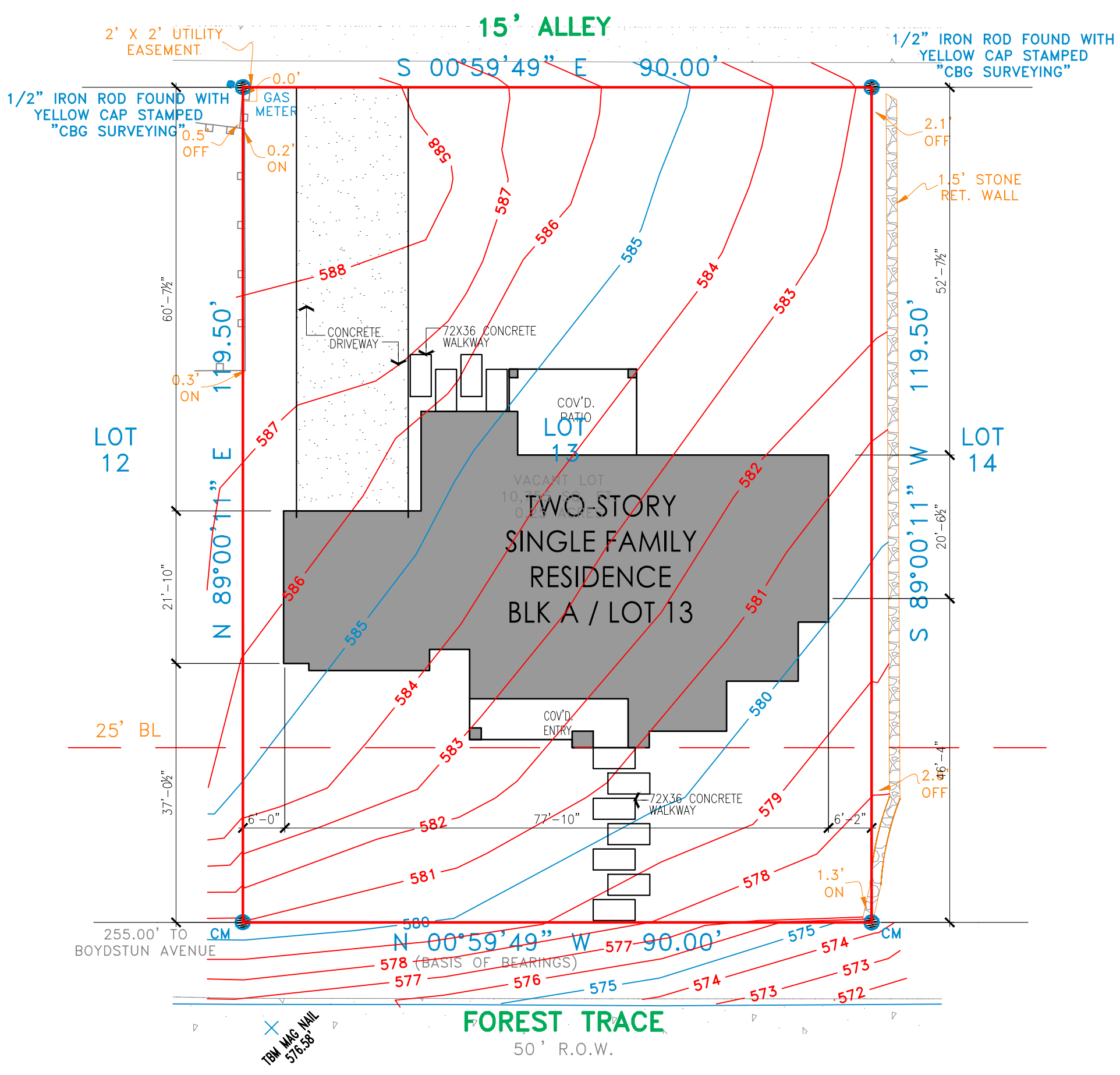
Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey bar for name input]

Address: [Grey bar for address input]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



709 FOREST TRACE  
 BLK A / LOT 13 / HIGH RIDGE STATE  
 ROCKWALL, ROCKWALL COUNTY, TX



**LEGEND:**

← DRAINAGE ARROW

REAR PATIO AREA  
 NOTE: CROSS HATCHED AREA INDICATES REAR YARD OPEN SPACE.

NOTE: BUILDER SHOULD PLANT TREE AS PER COMMUNITY STANDARD AS REQUIRED.

FLATWORK AREA TABULATIONS			
LEAD WALK	APPROX.	18	S.F.
CITY WALK	APPROX.	0	S.F.
DRIVE	APPROX.	970	S.F.
APPROACH	APPROX.	0	S.F.
<b>TOTAL</b>	<b>APPROX.</b>	<b>988</b>	<b>S.F.</b>

LOT COVERAGE			
LOT AREA	APPROX.	10755	S.F.
MAIN BUILDING AREA	APPROX.	2982	S.F.
LOT COVERAGE	APPROX.	27.73	%

1 SITE PLAN  
 SP1 SCALE: 1/16" = 1'-0"

SHEET NO. SP1 OF 13	DRAWN BY: LRN	DESIGN PLAN NAME/NUMBER: 3235 PLAN	NEW RESIDENCE FOR: MANUEL TIJERILLA	ADDRESS: 709 FOREST TRACE ROCKWALL, ROCKWALL COUNTY, TX BLK A/LOT 13/HIGH RIDGE STATE
ISSUED FOR REVIEW 06-28-2023	ELEVATION: STONE	GARAGE: REAR ENTRY		

ADDRESS: 709 FOREST TRACE  
 ROCKWALL, ROCKWALL COUNTY, TX  
 BLK A/LOT 13/HIGH RIDGE STATE

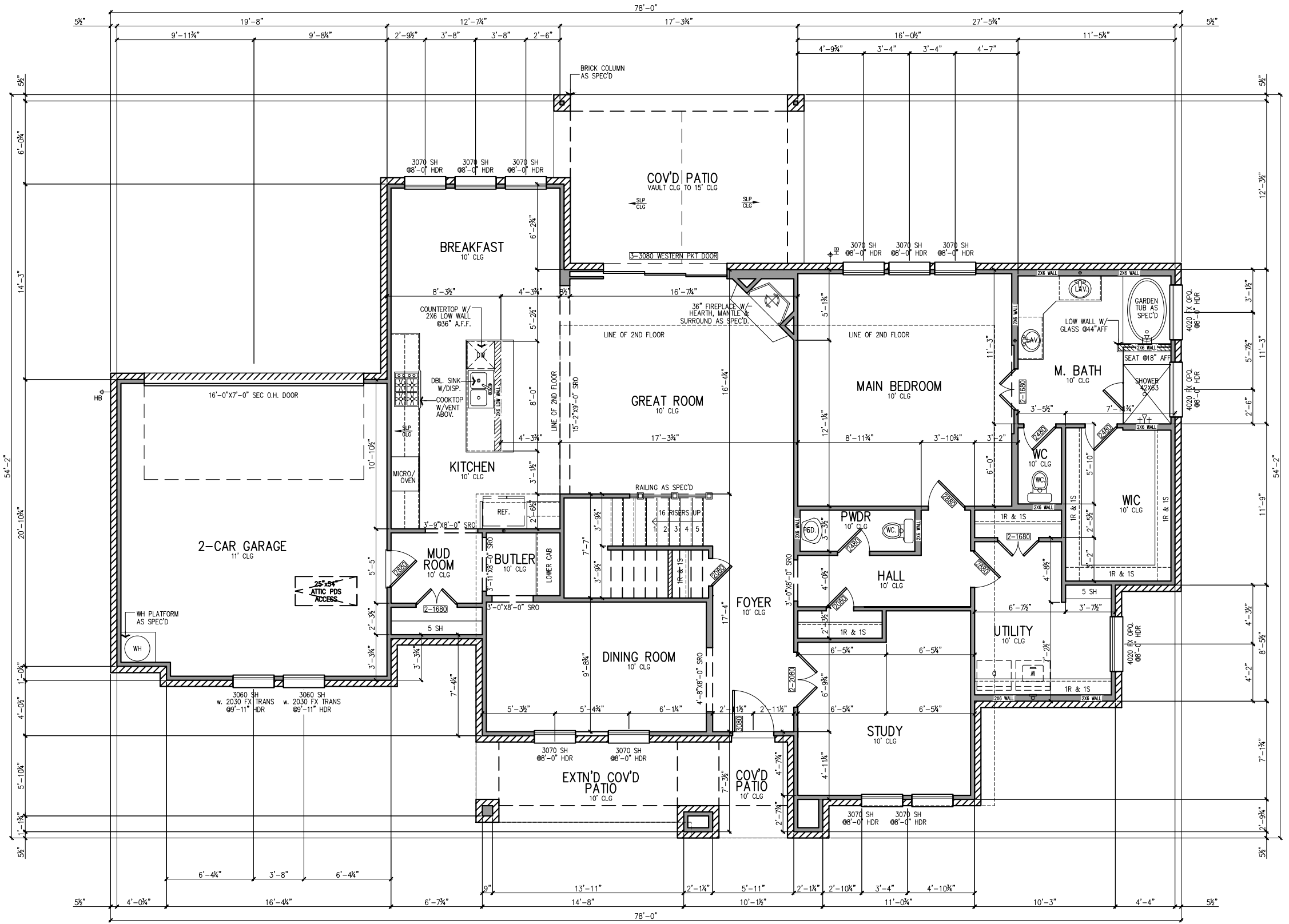
NEW RESIDENCE FOR:  
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:  
 3235 PLAN  
 ELEVATION: STONE  
 GARAGE: REAR ENTRY

DRAWN BY:  
 LRN

ISSUED ON  
 06-28-2023

SHEET NO.  
 A1  
 OF  
 13



AREA CALCULATIONS\_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,911	SQ. FT.	1,970	SQ. FT.	2,055
Second Floor	981	SQ. FT.	1,046	SQ. FT.	1,052
Total	2,892	SQ. FT.	3,016	SQ. FT.	3,107
Total Living Area					3,107
1-Car Garage	0	SQ. FT.	0	SQ. FT.	0
2-Car Garage	411	SQ. FT.	429	SQ. FT.	458
3-Car Garage	0	SQ. FT.	0	SQ. FT.	0
Total Garage Area	411	SQ. FT.	429	SQ. FT.	458
Covered Porch	0	SQ. FT.	147	SQ. FT.	149
Covered Patio	0	SQ. FT.	211	SQ. FT.	217
Covered Balcony	0	SQ. FT.	151	SQ. FT.	167
Total Covered Porch/Patio Area	0	SQ. FT.	509	SQ. FT.	533
Total Slab Area					2,879
Total Under Roof					4,098
Total Interior Frame	3,303	SQ. FT.			
Total Exterior Frame			3,954	SQ. FT.	
Overall Width = 78'-0"			Overall Depth = 54'-2"		

1 FIRST FLOOR PLAN  
 A1 SCALE: 1/8" = 1'-0"

C:\USERS\JUANNE.RIVERA\LOCAL\DOWNLOADS\2022-02-03\_709 FOREST TRACE.DWG

ADDRESS: 709 FOREST TRACE  
 ROCKWALL, ROCKWALL COUNTY, TX  
 BLK A/LOT 13/HIGH RIDGE STATE

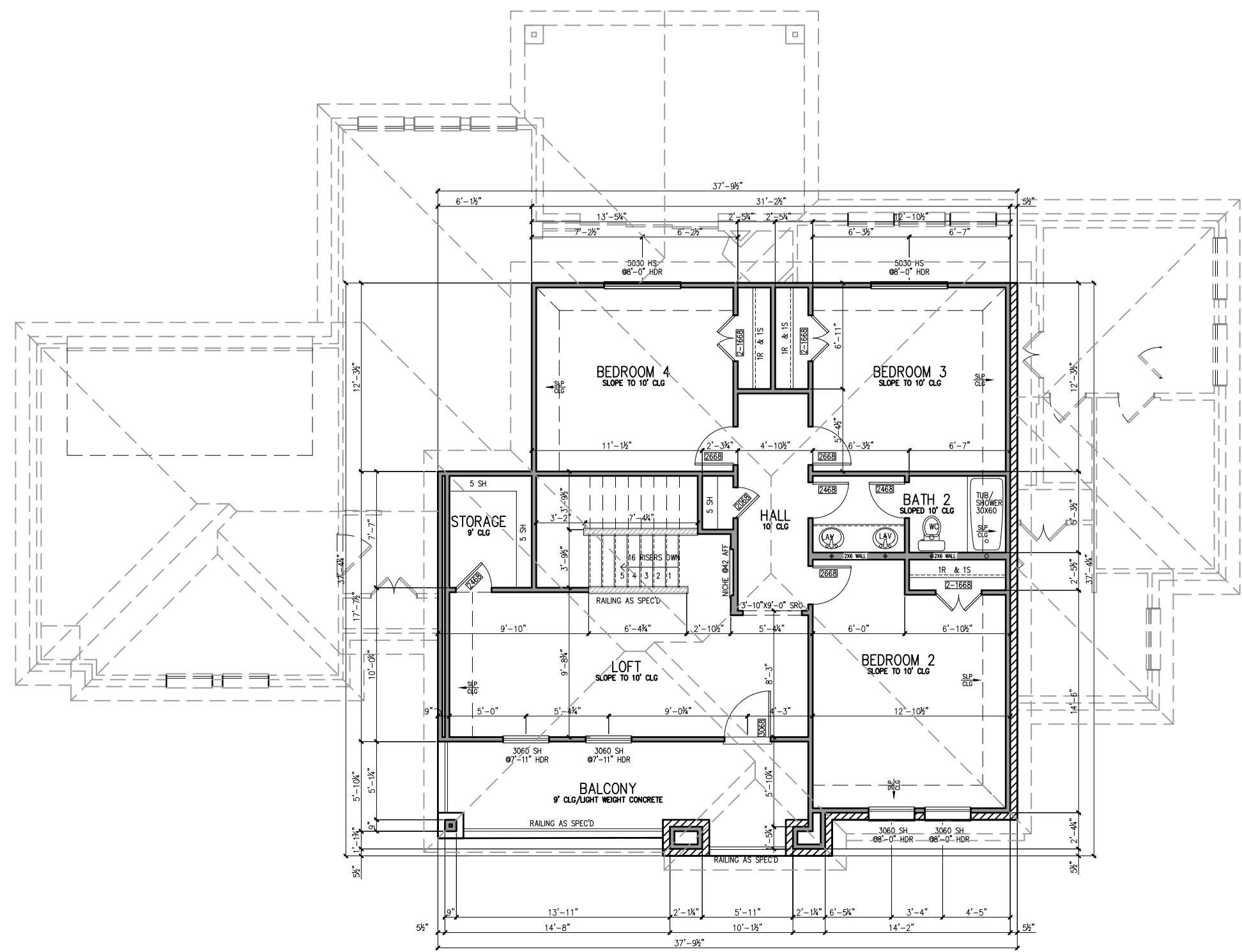
NEW RESIDENCE FOR:  
**MANUEL TIJERILLA**

DESIGN PLAN NAME/NUMBER:  
**3235 PLAN**  
 ELEVATION: STONE  
 GARAGE: REAR ENTRY

DRAWN BY:  
 LRN

ISSUED ON  
 06-28-2023

SHEET NO.  
**A1.1**  
 OF  
 13



AREA CALCULATIONS\_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,911 SQ. FT.	1,970 SQ. FT.	2,055 SQ. FT.		
Second Floor	981 SQ. FT.	1,046 SQ. FT.	1,052 SQ. FT.		
Total	2,892 SQ. FT.	3,016 SQ. FT.			
Total Living Area			3,107 SQ. FT.		
1-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
2-Car Garage	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
3-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
Total Garage Area	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
Covered Porch	0 SQ. FT.	147 SQ. FT.	149 SQ. FT.		
Covered Patio	0 SQ. FT.	211 SQ. FT.	217 SQ. FT.		
Covered Balcony	0 SQ. FT.	151 SQ. FT.	167 SQ. FT.		
Total Covered Porch/Patio Area	0 SQ. FT.	509 SQ. FT.	533 SQ. FT.		
Total Slab Area			2,879 SQ. FT.		
Total Under Roof			4,098 SQ. FT.		
Total Interior Frame	3,303 SQ. FT.				
Total Exterior Frame		3,954 SQ. FT.			
Overall Width = 78'-0"			Overall Depth = 54'-2"		

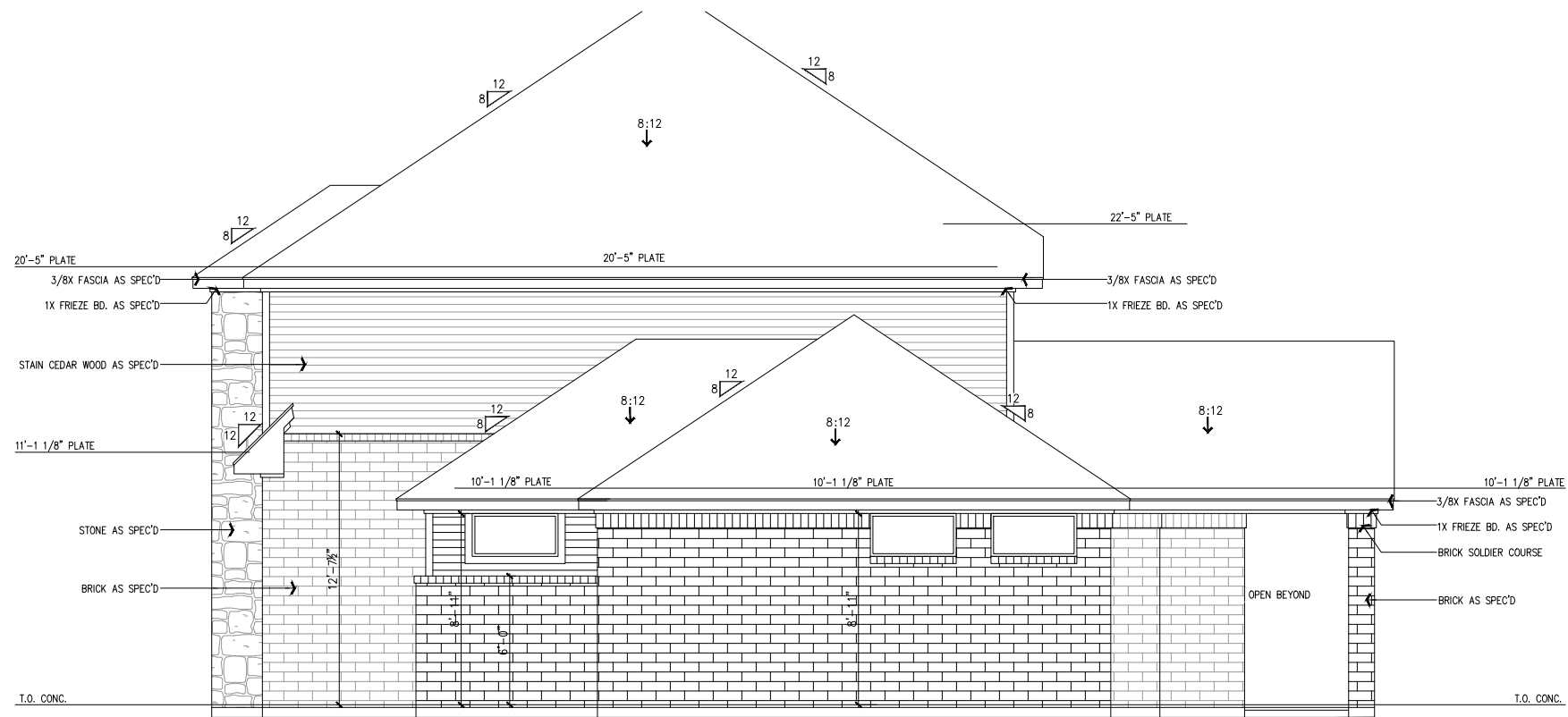
**1 SECOND FLOOR PLAN**  
 A1.1 SCALE: 1/8" = 1'-0"

C:\USERS\LUANNE.RIVERA\LOCAL\DOWNLOADS\2022-02-03\_709 FOREST TRACE.DWG

MATERIAL AREA TABULATIONS		709 FOREST TRACE									
		BRICK VENEER		STONE VENEER		SIDING/STUCCO		TOTAL			
Front Elevation	487	S.F.	53.22%	256	S.F.	27.98%	172	S.F.	18.80%	915	S.F.
Right Side Elevation	413	S.F.	67.48%	44	S.F.	7.19%	155	S.F.	25.33%	612	S.F.
Rear Elevation	458	S.F.	71.23%	0	S.F.	0.00%	185	S.F.	28.77%	643	S.F.
Left Side Elevation	489	S.F.	78.37%	22	S.F.	3.53%	113	S.F.	18.11%	624	S.F.
Total Area	1,847	S.F.		322	S.F.		625	S.F.		2,794	S.F.
Total Brick Area							1,847	S.F.		66.11%	
Total Stone Area				322	S.F.					11.52%	
Total Siding Area						625	S.F.			22.37%	
Overall Width = 78'-0"		Overall Depth = 54'-2"									



1 FRONT ELEVATION  
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION  
A3 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE  
ROCKWALL, ROCKWALL COUNTY, TX  
BLK A/LOT 13/HIGH RIDGE STATE

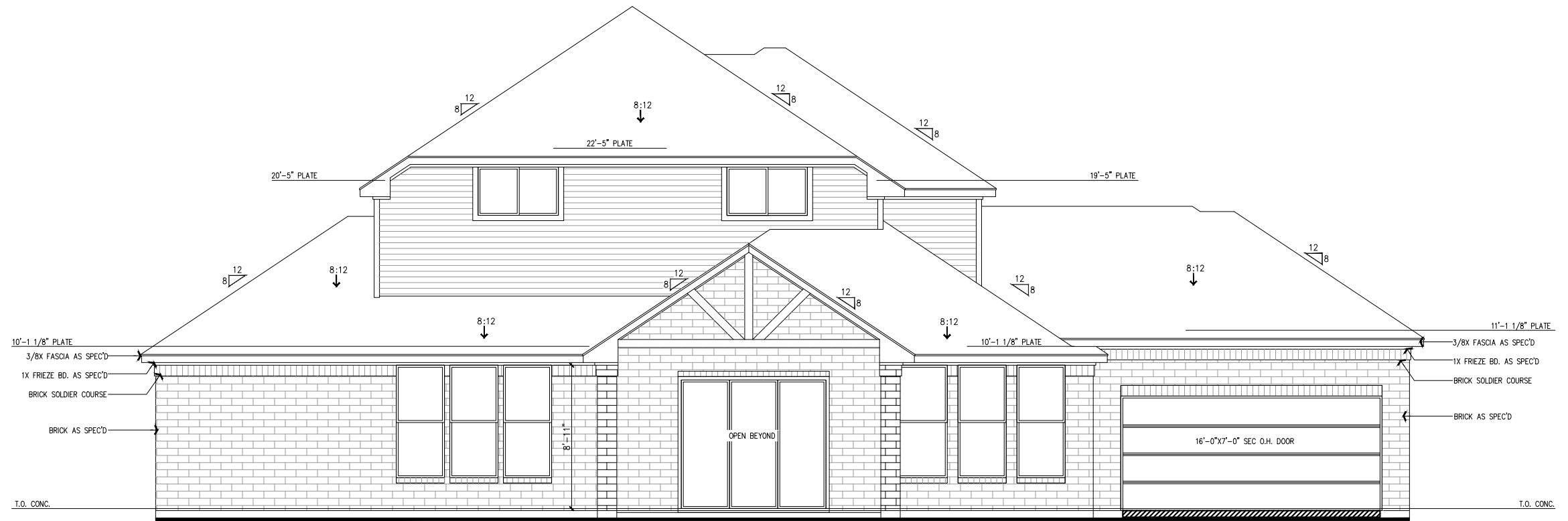
NEW RESIDENCE FOR:  
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:  
3235 PLAN  
ELEVATION: STONE  
GARAGE: REAR ENTRY

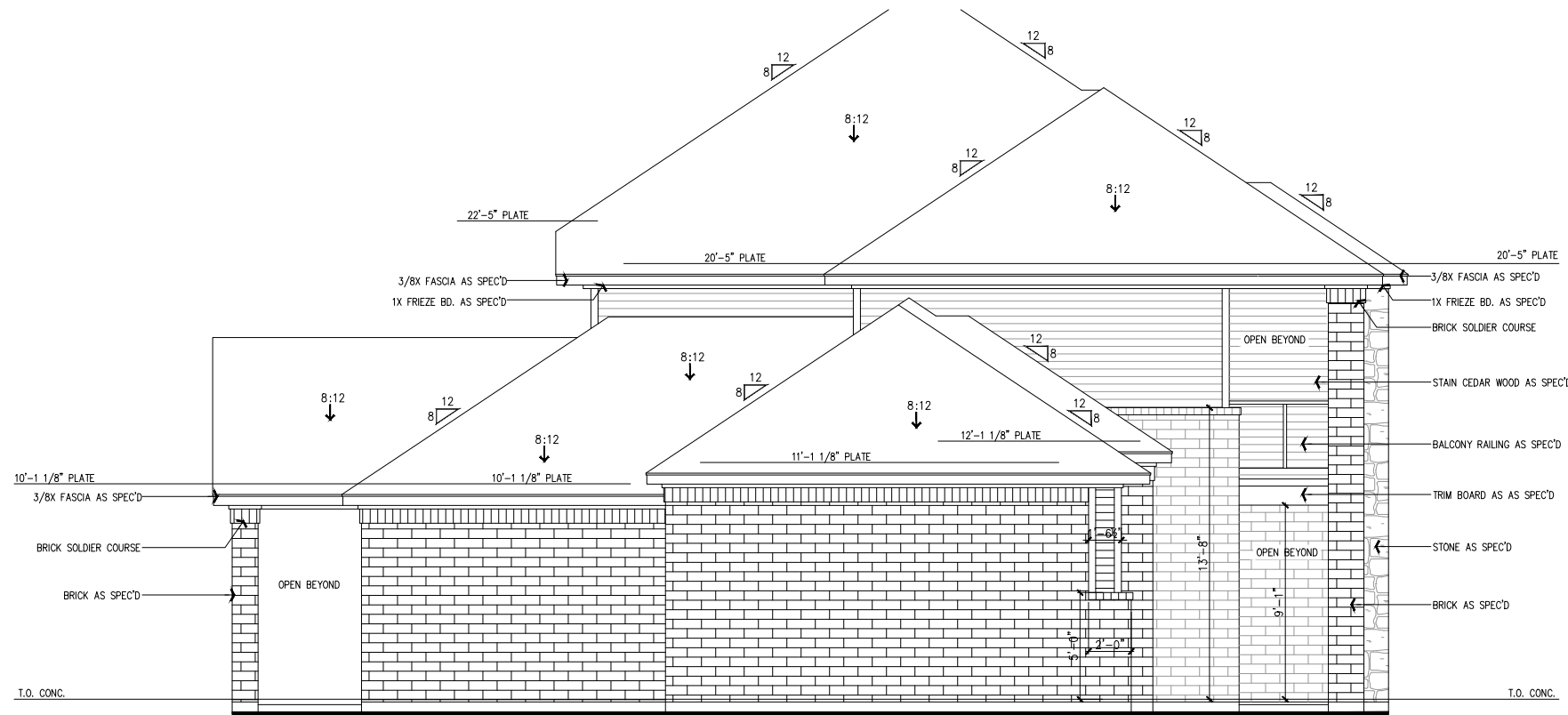
DRAWN BY:  
LRN

ISSUED ON  
06-28-2023

SHEET NO.  
A3  
OF  
13



1 REAR ELEVATION  
A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION  
A4 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE  
ROCKWALL, ROCKWALL COUNTY, TX  
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:  
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:  
3235 PLAN  
ELEVATION: STONE  
GARAGE: REAR ENTRY

DRAWN BY:  
LRN

ISSUED ON  
06-28-2023

SHEET NO.  
A4  
OF  
13



GENERAL ROOF NOTES:

ROOF PITCH:  
8:12 UNLESS OTHERWISE NOTED.

OVERHANG:  
1'-4 1/2" FROM FRAME UNLESS OTHERWISE NOTED.

SLOPE DOWN IN DIRECTION OF ARROWS.

GUTTER & DOWNSPOUT LOCATIONS AS SPECIFIED.

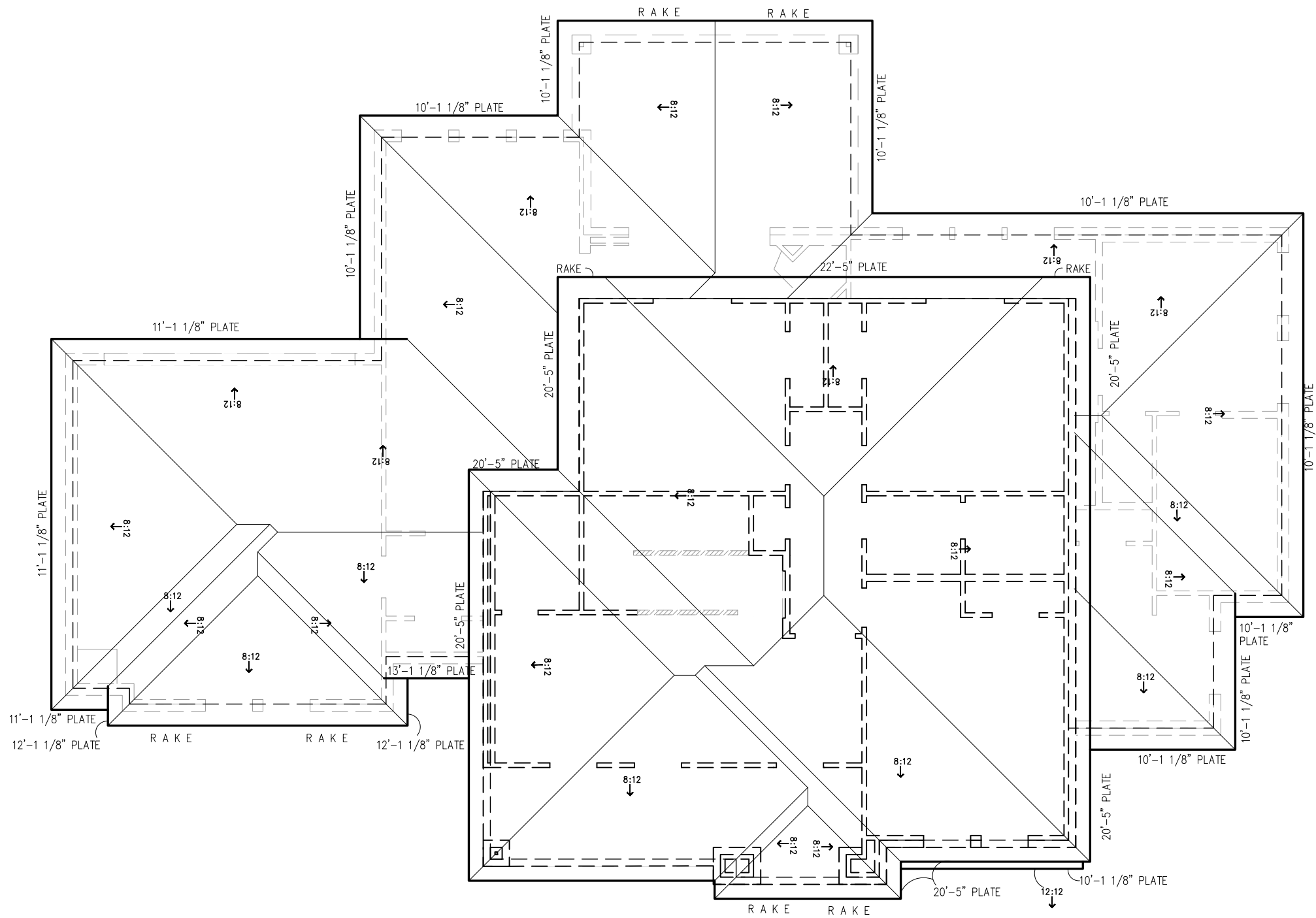
ROOFING MATERIAL AS SPECIFIED.

PRE-FINISHED GALV. METAL FLASHING AND DRIP EDGE SHALL BE USED AT ALL APPLICABLE LOCATIONS.

METAL VENT STACKS SHALL BE PRE-FINISHED OR PAINTED TO MATCH ROOF.

REFER TO ROOF PLAN FOR ROOF SLOPES, PLATE HEIGHTS AND INFORMATION NOT PROVIDED IN THESE NOTES.

PROPER ATTIC VENTILATION REQUIRES THAT THE RATIO OF TOTAL NET FREE VENTILATING AREA TO THE AREA OF THE CEILING SHALL BE NO LESS THAN 1/300 PROVIDED THAT A VAPOR RETARDED HAVING A PERMANENCE NOT EXCEEDING ONE PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING OR AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3' ABOVE EAVE OR CORNICE VENTS) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. VERIFY VENTILATION REQUIREMENTS WITH ROOF SYSTEM MANUFACTURER



1 ROOF PLAN  
A5 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE  
ROCKWALL, ROCKWALL COUNTY, TX  
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:  
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:  
3235 PLAN  
ELEVATION: STONE  
GARAGE: REAR ENTRY

DRAWN BY:  
LRN

ISSUED ON  
06-28-2023

SHEET NO.  
A5  
OF  
13



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, and Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick
713 Forest Trace	Single-Family Home	1993	2,509	N/A	Brick
715 Forest Trace	Single-Family Home	1980	4,075	N/A	Brick
714 Forest Trace	Single-Family Home	1981	3,165	N/A	Brick and Siding
712 Forest Trace	Single-Family Home	1985	3,631	384	Brick
710 Forest Trace	Single-Family Home	1979	3,818	N/A	Brick
708 Forest Trace	Single-Family Home	1981	3,016	164	Brick
706 Forest Trace	Single-Family Home	1976	4,103	N/A	Brick
	AVERAGES:	1983	3,638	213	



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

**PLANNING AND ZONING DEPARTMENT**

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703 Forest Trace



705 Forest Trace





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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707 Forest Trace



709 Forest Trace





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

**PLANNING AND ZONING DEPARTMENT**

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711 Forest Trace



713 Forest Trace





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

**PLANNING AND ZONING DEPARTMENT**

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715 Forest Trace



714 Forest Trace





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

### PLANNING AND ZONING DEPARTMENT

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712 Forest Trace



710 Forest Trace





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



708 Forest Trace



706 Forest Trace



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 13, BLOCK A, HIGHRIDGE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Manuel Tijerina for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as Lot 13, Block A, of the Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7<sup>th</sup> DAY OF AUGUST, 2023.**

\_\_\_\_\_  
Trace Johannesen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: July 17, 2023

2<sup>nd</sup> Reading: August 7, 2023



**Exhibit 'A':  
Location Map**

Address: 709 Forest Trace

Legal Description: Lot 13, Block A, Highridge Estates Addition





**Exhibit 'B':  
Residential Plot Plan**

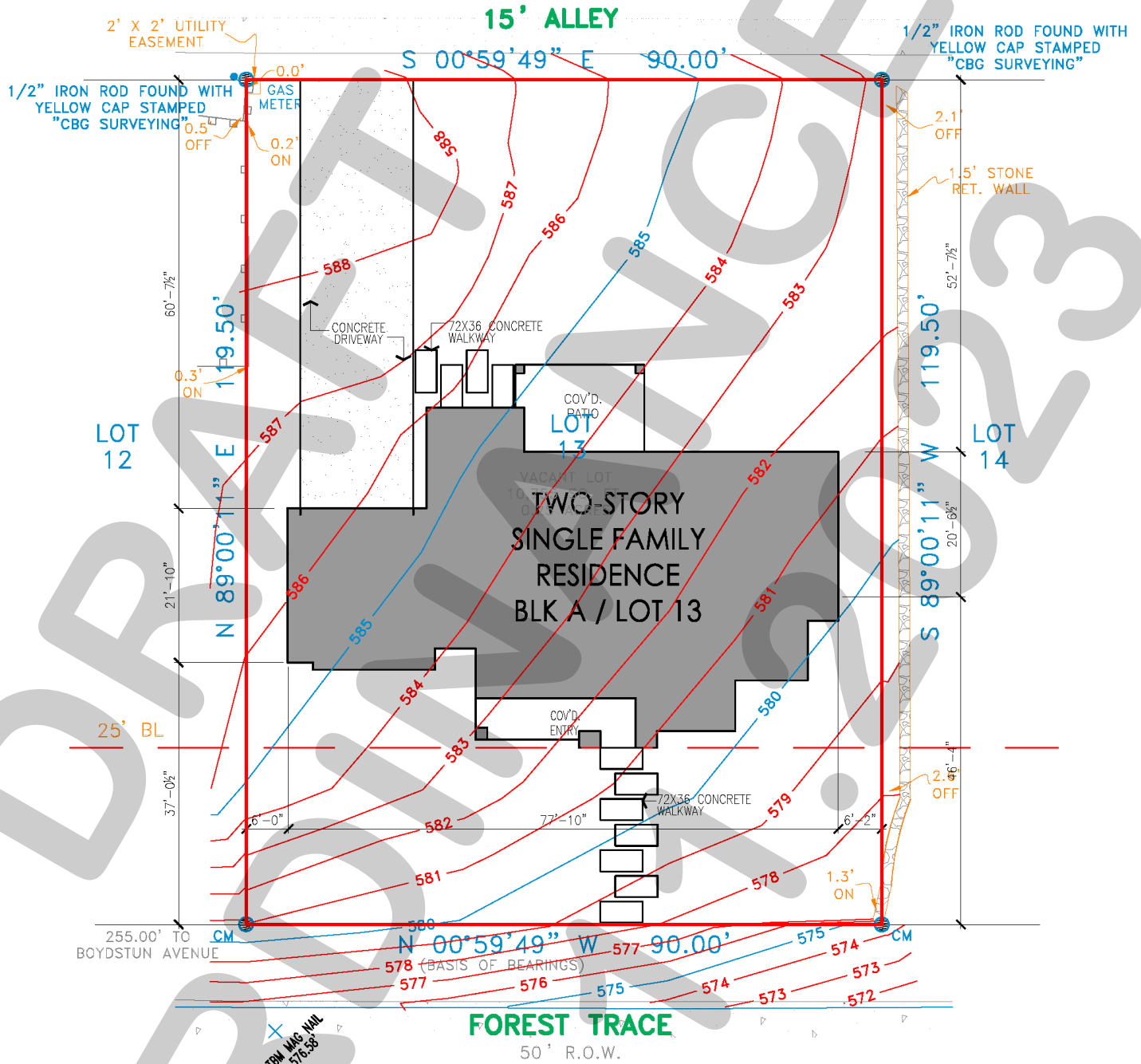
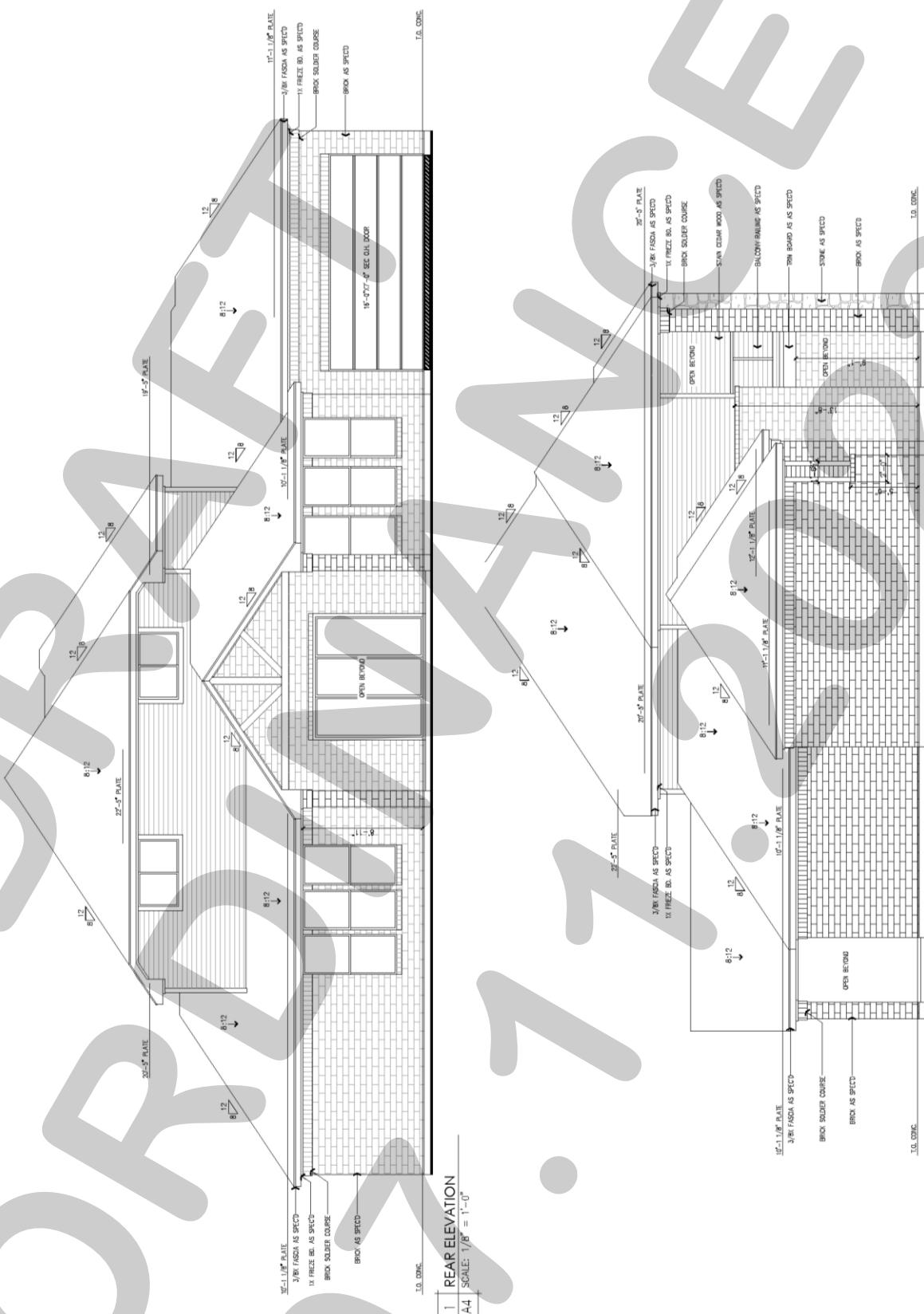




Exhibit 'C':  
Building Elevations



1 REAR ELEVATION  
A-4 SCALE: 1/8" = 1'-0"





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**DATE:** July 25, 2023

**APPLICANT:** Drew Donosky; *Claymoore Engineering*

**CASE NUMBER:** Z2023-032; *Specific Use Permit (SUP) for the Expansion of an Existing Motor Vehicle Dealership at 1540 E. IH-30*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) superseding *Ordinance No. 22-02 [S-266]* and allowing the expansion of an existing *Motor Vehicle Dealership (i.e. Clay Cooley Hyundai)* being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

### BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 6, 2005 when the City Council approved *Ordinance No. 05-25 (Case No. Z2005-019)* changing the zoning to a Light Industrial (LI) District. The building on the subject property was constructed as a house of worship (*i.e. Church of Christ*) in 1990 and was remodeled in 2012-2013 after the City Council approved *Ordinance No. 12-11 (Case No. Z2012-005)* -- on June 18, 2012 -- allowing a *New Motor Vehicle Dealership for Cars and Light Trucks* on property. The changes to the exterior of the building were approved by site plan under *Case No. SP2012-010* on June 12, 2012.

On January 14, 2013, the then owner of the property applied for a sign variance to [1] allow two (2) pole signs along the IH-30 frontage road (*i.e. a 40-foot tall sign with 400 SF of sign area and a 50-foot tall sign with 600 SF of sign area*), [2] to have the 40-foot tall pole sign situated one (1) foot from the property line, [3] allow a 600 SF electronic message display, and [4] to have a 16-foot tall by 16-foot wide (*i.e. 256 SF*) wall sign. At the time, the code allowed one (1) pole sign a maximum of 30-foot tall and 167 SF in size to be situated on a property as long as it was setback a minimum of ten (10) feet from all property lines. In addition, wall signs were permitted to be a maximum of six (6) feet tall and six (6) feet wide. This request was approved by the City Council on January 22, 2013 and the permits for these signs (*Case No.'s SGN2013-015 & SGN2013-0017*) were issued on February 7, 2013.

In 2017, the current owner (*i.e. Clay Cooley Hyundai*) purchased the property. In 2021, staff engaged the property owner about building a metal fence without a permit around an area being used for outside storage. At this time, outside storage was not permitted on the subject property. In addition, automotive work was being done on vehicles in this unenclosed area, which is expressly prohibited by the Unified Development Code (UDC) and the Specific Use Permit (SUP) that was in effect at the time. On January 3, 2022, a Specific Use Permit (SUP) [*Case No. Z2021-049; Ordinance No. 22-02*] was approved by City Council allowing the expansion of the *New Motor Vehicle Dealership*, and adding the *Minor Automotive Repair Garage, Car Wash, and Outside Storage* land uses to the subject property. On February 15, 2022, the Planning and Zoning Commission approved a site plan [*Case No. SP2022-003*] allowing the expansion of the *New Motor Vehicle Dealership* and adding the two (3) accessory uses (*i.e. a Car Wash, Outside Storage, and a Minor Auto Repair Garage*) in compliance with the approved Specific Use Permit (SUP) [*Ordinance No. 22-02*].

Recently, the applicant approached staff about increasing the size of the proposed expansion of the *New Motor Vehicle Dealership* and changing the proposed *Minor Automotive Repair Garage* to a *Major Automotive Repair Garage*. Staff explained to the applicant that since this would constitute a major change to the approved conceptual site plan and building

elevations and the land uses permitted in the approved Specific Use Permit (SUP), that the current Specific Use Permit (SUP) would need to be superseded with a new Specific Use Permit (SUP). On June 16, 2023, the applicant submitted an application requesting to amend the previously approved Specific Use Permit (SUP) to allow for the further expansion of the existing *New Motor Vehicle Dealership*, and changing the proposed accessory land use of a *Minor Automotive Repair Garage* to *Major Automotive Repair Garage*.

## **PURPOSE**

The applicant -- *Drew Donosky of Claymoore Engineering* -- is requesting to amend the previously approved Specific Use Permit (SUP) to allow for the expansion of an existing *New Motor Vehicle Dealership for Cars and Light Trucks*, and adding the *Major Auto Repair Garage* as an accessory land use in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

## **ADJACENT LAND USES AND ACCESS**

The subject property is addressed as 1540 E. IH-30 and is currently being used as a *Motor Vehicle Dealership (i.e. Clay Cooley Hyundai of Rockwall)*. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the westbound frontage roads. Beyond this are three (3) parcels of land currently occupied by an appliance store (*i.e. North Texas Appliance*), a house of worship (*i.e. Landmark Fellowship Church*), and a multi-tenant facility consisting of two (2) metal buildings. All of these properties are zoned Light Industrial (LI) District.

South: Directly south of the subject property is a dedicated 60-foot right-of-way followed by a 2.40-acre parcel of vacant land (*i.e. Lot 1, Block 2, Rockwall Recreational Addition*) zoned Light Industrial (LI) District. South of this parcel of land is a 21.684-acre tract of vacant land (*i.e. Tract 4-09 of the N. M. Ballard Survey, Abstract No. 24*) zoned Light Industrial (LI) District.

East: Directly east of the subject property is a *Motor Vehicle Dealership (i.e. Rockwall Honda)*, which is situated on an 8.686-acre parcel of land (*i.e. Lot 1, Block 1, Honda of Rockwall Addition*) that is zoned Commercial (C) District. Beyond this are two (2) vacant tracts of land (*i.e. Tract 2 of the J. Lockhart Survey, Abstract No. 134 and Tract 3 of the J. M. Allen Survey, Abstract No. 2*) that are zoned Commercial (C) District.

West: Directly west of the subject property is Commerce Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an overflow sales/inventory storage lot for the motor vehicle dealership operating on the subject property (*i.e. Clay Cooley Hyundai of Rockwall*). This property is zoned Light Industrial (LI) District and has a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership (i.e. S-189; Ordinance No. 18-22)*. Beyond this are two (2) metal buildings (*i.e. Rockwall Utility Trailers, M & P Concrete, Living Earth Rockwall, and Elliott Electric Supply*) on one (1) tract of land (*i.e. Tract 4-4 of the N. M. Ballard Survey, Abstract No. 24*) and one (1) parcel of land (*i.e. Lot 1, Block A, Lane Business Park Addition*). These properties are zoned Planned Development District 31 (PD-31) for limited Heavy Commercial (HC) District land uses and Planned Development District 26 (PD-26) for limited Light Industrial (LI) District land uses.

## **CHARACTERISTICS OF THE REQUEST AND CONFORMANCE WITH THE CITY'S CODE**

The applicant has submitted a new concept plan and building elevations in conjunction with the request to amend the Specific Use Permit (SUP). The submitted concept plan shows that the proposed detached *Minor Automotive Repair Garage* will be increased from three (3) bays to eight (8) bays, and -- *based on the applicant's response to staff's comments* -- will be changed to a *Major Automotive Repair Garage*. The proposed concept also shows that the proposed transformer and fuel storage islands will be moved to the parking islands along the southern most drive isle. In addition, the canopy structure on the west side of the main building will be increased in size. These changes have been annotated on excerpts from the approved and proposed concept plans as depicted in *Figure 1* and *Figure 2* below.

FIGURE 1: APPROVED CONCEPT PLAN

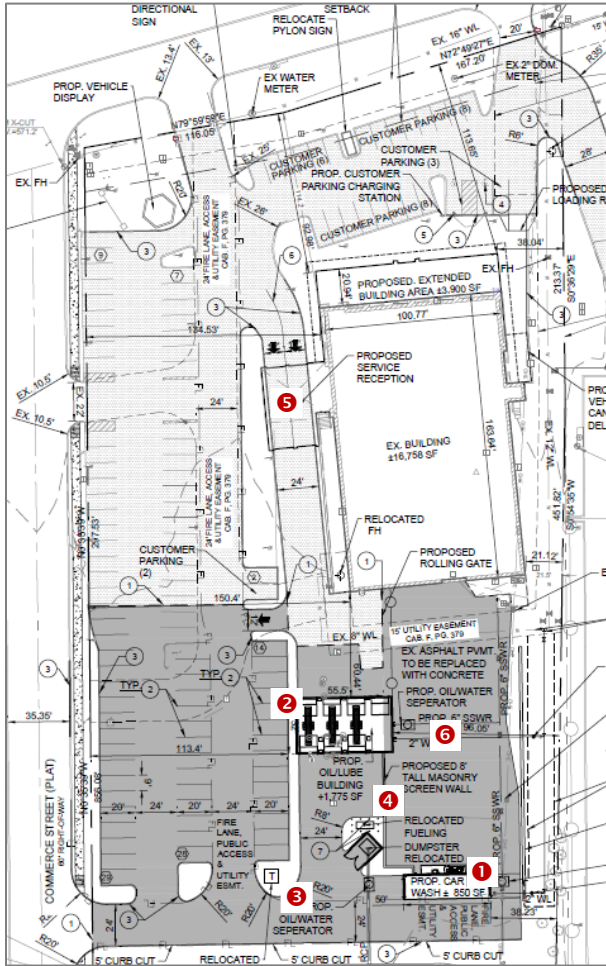
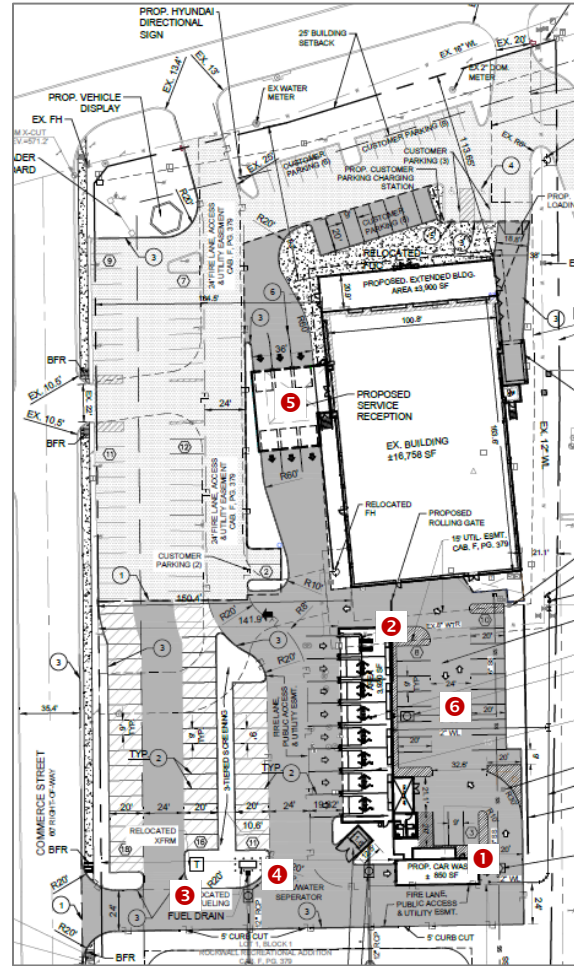


FIGURE 2: PROPOSED CONCEPT PLAN



- 1: CARWASH; 2: AUTOMOTIVE REPAIR GARAGE; 3: TRANSFORMER; 4: FUEL STORAGE ISLAND; 5: CANOPY; 6: OUTSIDE STORAGE

According to Article 13, *Definitions*, of the Unified Development Code (UDC) a *New Motor Vehicle Dealership for Cars and Light Trucks* is defined as the “(r)etail sales of new automobiles or light load vehicles, including, as a minor part of the business, the sale of used automobiles or light load vehicles and the service of new or used vehicles within an area or enclosed building.” In addition, Article 04, *Permissible Uses*, of the Unified Development Code (UDC) sets forth the following *Conditional Land Use Standards* for this land use: [1] all outside display of vehicles must be on an approved concrete, or enhanced concrete surface, and [2] all vehicle display areas must meet the landscape standards for parking areas. Currently, the subject property is considered to be in compliance with these requirements. The landscaping on the site was originally approved in 2012, and is considered to be legally non-conforming; however, staff has included a condition of approval of this case that the landscaping be upgraded as part of the required site plan in accordance with the requirements of Subsection 02, *Application of Article*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). This section of the code states that “(t)he landscape and screening provisions of this Article shall apply to ... (t)he expansion of a non-residential parking lot that increases the existing impervious area by 30.00% or that adds 2,000 SF of impervious areas.

With regard to the definitions and *Conditional Land Use Standards* for the proposed accessory land uses, the Unified Development Code (UDC) states the following:

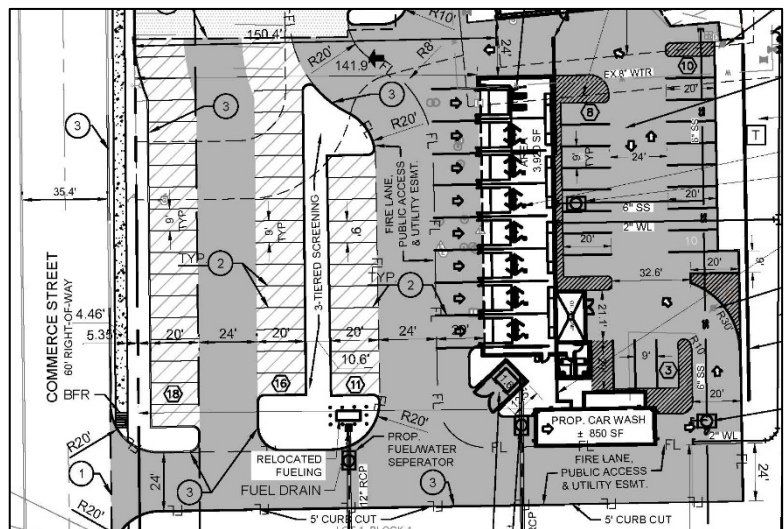
- (1) **Car Wash.** A Car Wash is defined by Article 13, *Definitions*, of the Unified Development Code (UDC) as “(a) facility or area for the cleaning or steam cleaning, washing, polishing, or waxing of passenger vehicles by machine or hand-operated facilities. A car wash may be [1] a single unit type that has a single bay or a group of single bays with each bay to accommodate one vehicle only; or [2] a tunnel type that allows washing of multiple vehicles in a tandem arrangement while moving through the structure.” The code goes on to list the following *Conditional Land Use Standards* for the Car Wash land use: [1] entrances and exists to the car wash shall not directly face any public right-of-way; however, on corner lots, the entrances and exists shall not open toward the street with the highest traffic volume as determined by the Director of Planning and Zoning, and [2] the car wash shall be setback a minimum of 50-feet from any street frontage.



Conformance to the Conditional Land Use Standards for a Car Wash: Based on the submitted materials, the applicant's concept plan is in conformance with the *Conditional Land Use Standards for a Car Wash*. Specifically, the proposed *Car Wash* is oriented towards Commerce Street as opposed to IH-30, and is setback approximately 150-feet from the right-of-way along Commerce Street.

- (2) Major Automotive Repair Garage. Article 13, *Definitions*, of the Unified Development Code (UDC) defined a *Major Automotive Repair Garage* as consisting of "(m)ajor repair, rebuilding or reconditioning of engines, transmissions, or other major components for motor vehicles; collision services including body, frame, or fender straightening or repair; customizing; overall painting or paint shop; automotive glass and upholstery; those uses listed under *Minor Auto Repair Garage*, and other similar uses. All repair work shall be performed inside an enclosed building. Vehicles shall not be stored on site no longer than 90-days." Article 04, *Permissible Uses*, of the Unified Development Code (UDC) goes on to list the *Conditional Land Use Standards* for this land use as [1] garage doors shall not face a public right-of-way, park or open space, or residentially zoned or used property, and [2] vehicles, equipment, parts or inventory shall not be stored outside overnight unless granted by the Planning and Zoning Commission and City Council through Specific Use Permit (SUP). If permitted all stored items shall be screened from public right-of-way, sidewalks and open space, and any residentially zoned or used property in accordance with the screening standards in the Unified Development Code (UDC).

Conformance to the Conditional Land Use Standards for a Major Automotive Repair Garage: In this case, the proposed *Major Automotive Repair Garage* has bay doors facing onto Commerce Street. Staff did recommend that the applicant consider combining the two (2) middle rows of parking, which would allow [1] the ability to provide additional landscaping to properly screen the bay doors and [2] additional width to the drive aisle in front of the bay doors for turning movements. The applicant has provided an updated site plan and landscape plan which incorporates this design shown in *Figure 3*. With regard to the outside storage, the applicant is proposing an outside storage area that will be situated behind an eight (8) foot masonry wall and canopy trees planted on 20-foot centers. Staff did include a provision prohibiting the outside storage of tires and maintenance equipment -- as *this can create mosquito harborage* -- and from maintenance work being performed outside.



**FIGURE 3: MAJOR AUTOMOTIVE REPAIR GARAGE SCREENING**

- (3) Outside Storage. *Outside Storage* is defined by Article 13, *Definitions*, of the Unified Development Code (UDC) as "(t)he permanent or continuous keeping, displaying, or storing of unfinished goods, material, merchandise, equipment, service vehicles or heavy vehicles outside of a building on a lot or tract overnight or for more than 24-hours." In addition, Article 04, *Permissible Uses*, of the Unified Development Code (UDC) list the following *Conditional Land Use Standards* for this land use as: [1] all outside storage areas shall be screened in accordance with the screening standards of the Unified Development Code (UDC), and [2] no outside storage shall be allowed adjacent to IH-30; however, on Light Industrial (LI) District property the Planning and Zoning Commission and City Council may allow outside storage on a case-by-case basis through a Specific Use Permit (SUP).

Conformance to the Conditional Land Use Standards for Outside Storage: According to Subsection 01.05(E), *Outside Storage*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "... screening must be at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall (*excluding tilt wall or concrete masonry units [CMU] unless otherwise approved by the Planning and Zoning Commission*) and Canopy Trees on 20-foot centers." In this case, the applicant has indicated that the outside storage area will be screened with an eight (8) foot masonry wall and has provided canopy trees on 20-foot centers. Based on this the applicant's request is in conformance with the requirements for outside storage.

In addition to the requirements for the proposed primary and accessory land uses, staff has identified the following deficiencies in the proposed conceptual site plan and building elevations:

- (1) Cementitious Materials. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), “(t)he use of cementitious materials (e.g. stucco) shall be limited to 50.00% of the building’s exterior façade; however, stucco shall not be used within the first four (4) feet of grade on a building’s façade.” In this case, the applicant is requesting to use primarily stucco on all the building’s facades but has incorporated brick and stone accents which is typical of industrial buildings. This will require a variance.
- (2) Stone. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of 20% natural or quarried stone is required on all building façades.” In this case, the proposed building elevations for the main structure does not incorporate any stone but the applicant has provided at least 12% stone on the proposed *Major Auto Repair Garage* and the *Car Wash*. This will require a variance.
- (3) Four (4) Sided Architecture. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building.” In this case, the proposed building does not meet the articulation standards for all four (4) facades of all buildings proposed and there is not an additional row of trees proposed at the back of the property. This will require a variance.
- (4) Garage Door Orientation. According to Article 04, *Permissible Uses*, of the Unified Development Code (UDC), “(g)arage doors shall not face a public right-of-way, park or open space, or residentially zoned or used property.” In this case, the proposed building elevations and concept plan shows the garage doors facing on to Commerce Street. This will require an exception.

If the proposed case is approved, the Planning and Zoning Commission and City Council will be granting the abovementioned variances and exception. Typically, when variances and exceptions are requested as part of a site plan, the Unified Development Code (UDC) requires compensatory or off-setting measures. In this case, the applicant has provided a letter indicating the following as compensatory measures: [1] additional projecting elements on the front elevation of the *Major Auto Repair Garage*, [2] varied roof heights, [3] an additional canopy on the front elevation, [4] an additional articulated cornice at the top of the parapet wall, [5] addition of stone accents separating the stucco from stone finish, [6] included parapet walls on all four (4) elevations to provide additional screening of the roof, [7] increased shrub size in three-tiered screening to 7 gallons, [8] increased all canopy trees to five (5) inch caliper, [9] increased all accent trees to a minimum of eight (8) foot to provide more mature screening at planting. In addition, variances and exceptions being requested through the site plan process require a three-quarter majority vote of the Planning and Zoning Commission for approval. In this case, the requested variances and exceptions are essential to the applicant’s Specific Use Permit (SUP) request and -- *since they are associated with the zoning request* -- will only require a simple majority vote of the City Council for approval. All of these aspects of this case are considered to be discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission.

## **STAFF ANALYSIS**

The proposed building was originally converted from an existing *House of Worship*, and as a result many aspects of the site are considered to be legally non-conforming. The applicant’s current request does increase the non-conformities existing on the site and does not conform to many of the standards of the *General Overlay District Requirements* and the *Conditional Land Use Standards* for the *Major Automotive Repair Garage* and *Outside Storage* land uses. Staff should point out that some of the variances listed in the above sections relating to the design standards associated with the existing buildings have been granted through previous Specific Use Permit (SUP) requests; however, based on the applicant’s current request, these variances have been increased or changed. This is why they have been relisted as part of this Specific Use Permit (SUP) request and should be reconsidered with the applicant’s current proposal. With this being said, requests for Specific Use Permits (SUPs) are discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On June 22, 2023, staff mailed 17 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) notice in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for the expansion of an existing *Motor Vehicle Dealership*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) All operations on this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (b) The development or redevelopment of the Subject Property shall generally conform to the Landscape Plan depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
  - (c) The development or redevelopment of the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'D'* of this ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) and approval by the Planning and Zoning Commission through the site plan review process.
  - (d) No vehicle display areas shall be permitted within the required landscape buffers along IH-30 and Commerce Street.
  - (e) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored on an unimproved surface.
  - (f) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored within the Commerce Street right-of-way (*i.e. Commerce Street is for public parking only*).
  - (g) The outside storage of tires or any other automotive parts shall be prohibited.
  - (h) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.
  - (i) Outside storage shall be screened by an eight (8) foot masonry wall as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
- (2) The applicant will be required to submit a site plan with building elevations, a material sample board, a landscape plan, and photometric plan prior to the submittal of engineering plans or the issuance of a building permit.
- (3) The applicant shall provide a detail of the proposed masonry wall with the site plan submittal. The proposed masonry wall shall -- where feasible -- provide canopy trees on 20-foot centers to bring the request closer into conformance with the requirements for screening of outside storage.
- (4) All unpermitted improvements and activities that do not conform to the Unified Development Code (UDC) shall be brought into conformance with the City's code requirements at the time of site plan.
- (5) The applicant shall update the site to conform to the current requirements for landscaping as stipulated in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) in accordance with the requirements outline in



Subsection 02, *Application of Article*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).

- (6) The applicant's landscape plan submitted with the site plan shall provide landscape screening for the proposed transformer and fuel storage island in conformance with the requirements of the Unified Development Code (UDC).
- (7) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On July 11, 2023, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 6-0, with Commissioner Conway absent. According to the Unified Development Code (UDC), "...if such change [*i.e. zoning change or Specific Use Permit (SUP)*] is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval."

### **CITY COUNCIL**

On July 17, 2023, the City Council approved a motion -- *at the applicant's request* -- to be remanded back to the Planning and Zoning Commission to allow for the applicant to address comments and for the Planning and Zoning Commission's reconsideration of the changes. The motion passed by a vote of 7-0.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1540 I30 Rockwall TX		
SUBDIVISION	Rockwall Recreational Addition	LOT	1&2 BLOCK 1
GENERAL LOCATION	IH30 & Clay Cooley Drive		

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	F1	CURRENT USE	Auto Dealer
PROPOSED ZONING		PROPOSED USE	
ACREAGE	7.17	LOTS [CURRENT]	2
		LOTS [PROPOSED]	

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	1540 East IH 30 Rockwall LLC	<input checked="" type="checkbox"/> APPLICANT	Claymoore Engineering
CONTACT PERSON	Clay Cooley	CONTACT PERSON	Drew Donosky
ADDRESS	PO Box 570809	ADDRESS	1903 Central Drive, Suite 406
CITY, STATE & ZIP	Dallas TX 75357	CITY, STATE & ZIP	Bedford TX 76012
PHONE		PHONE	817-458-4008
E-MAIL		E-MAIL	Drew@claymooreeng.com

## NOTARY VERIFICATION [REQUIRED]

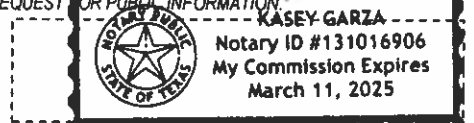
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Clay Cooley (OWNER) THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ November TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11 DAY OF November, 2021 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF November 2021

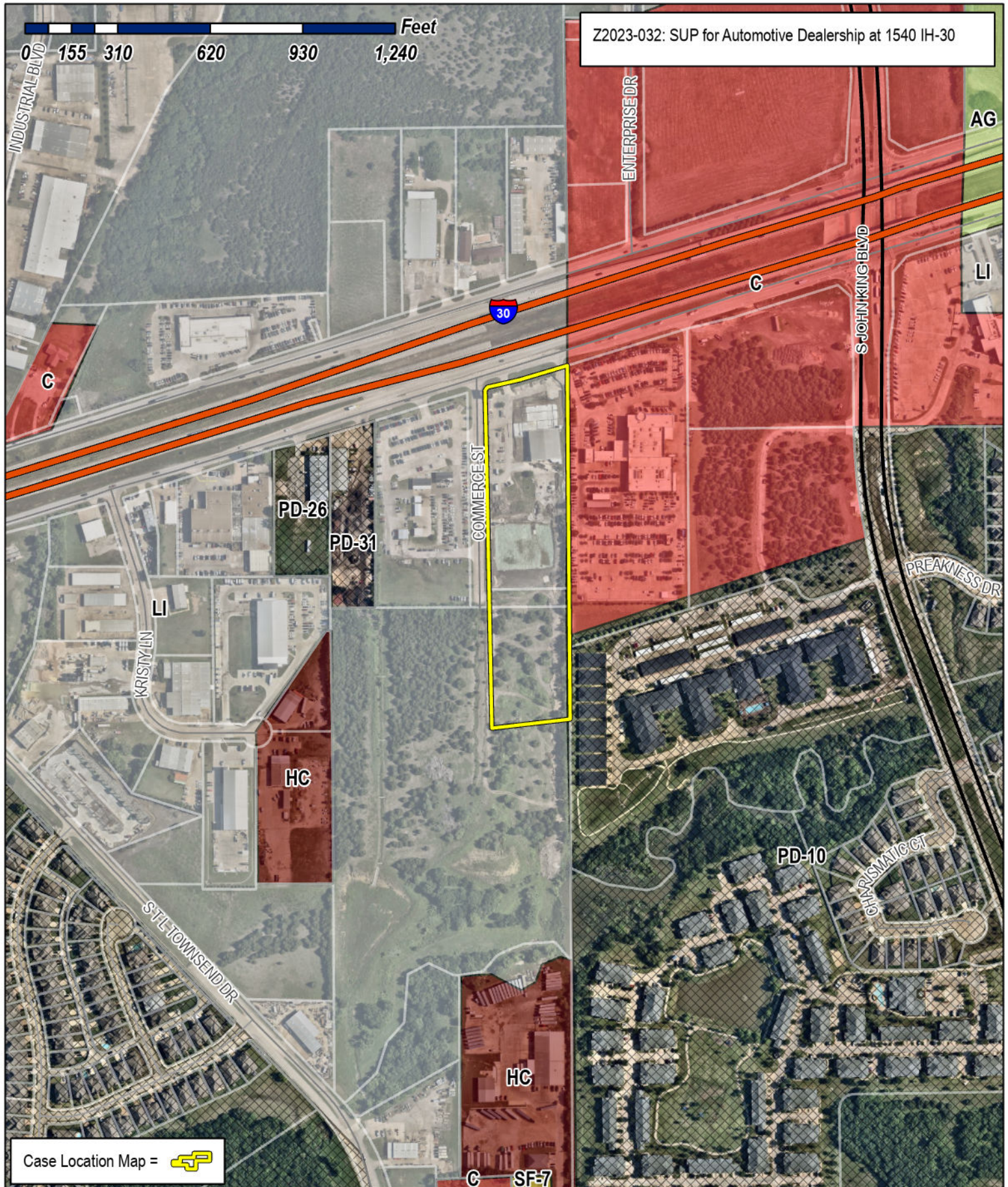
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS




MY COMMISSION EXPIRES 03/11/2025





Z2023-032: SUP for Automotive Dealership at 1540 IH-30

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



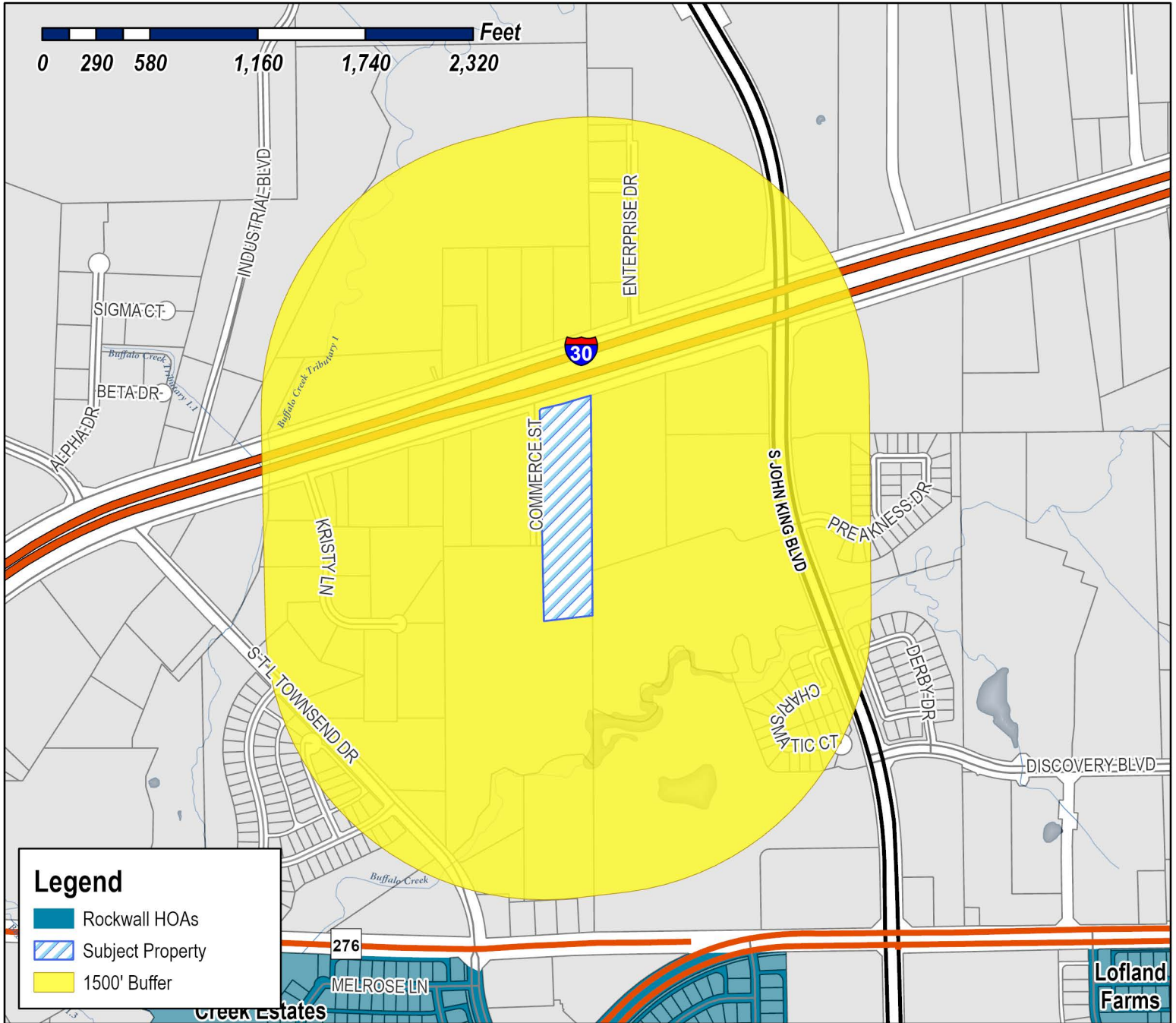




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**Case Number:** Z2023-032  
**Case Name:** SUP for Automotive Dealership  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1540 IH-30

**Date Saved:** 6/16/2023  
 For Questions on this Case Call (972) 771-7745

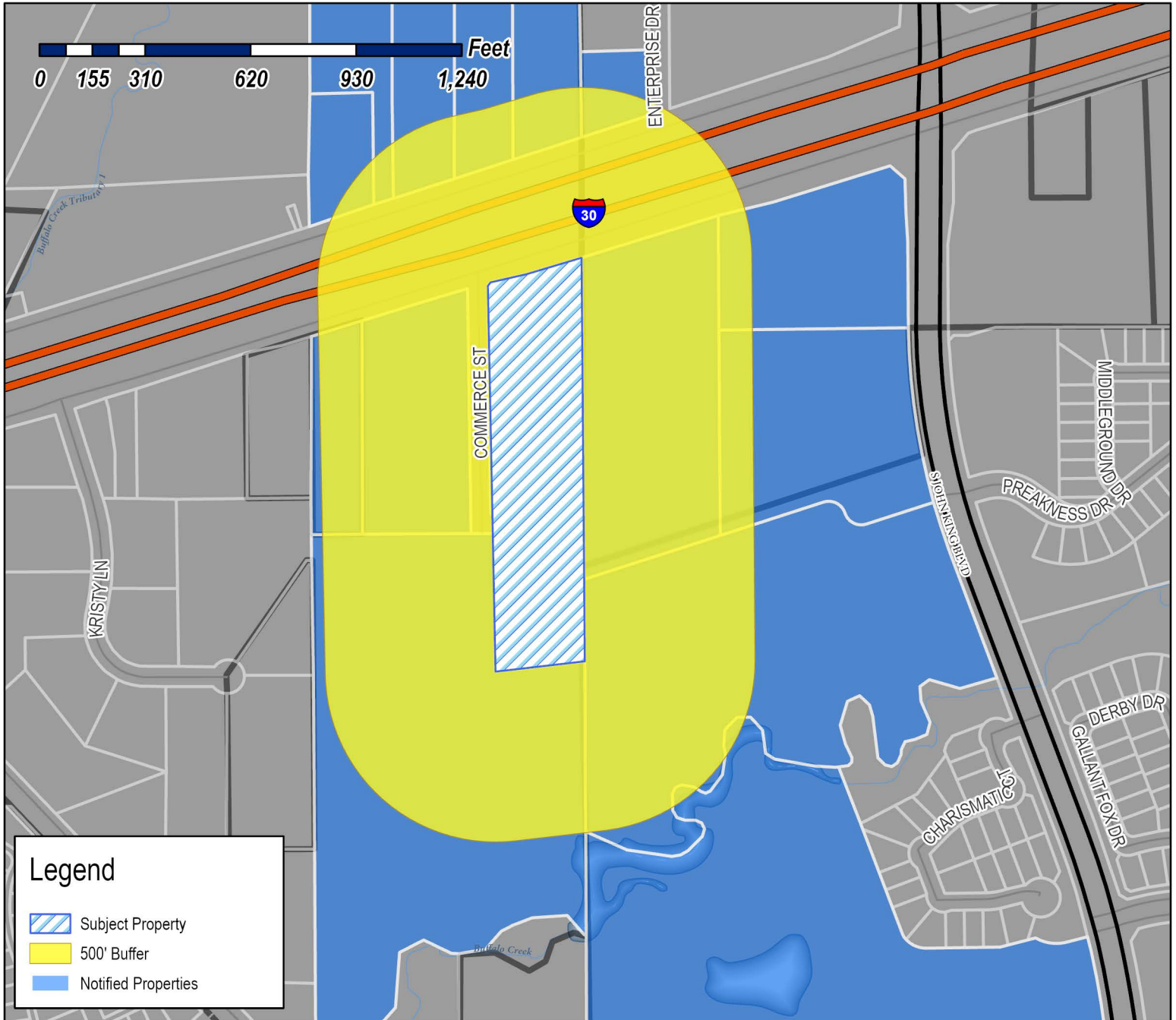




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**Case Number:** Z2023-032  
**Case Name:** SUP for Automotive Dealership  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1540 IH-30

**Date Saved:** 6/16/2023

For Questions on this Case Call: (972) 771-7746



LITHIA REAL ESTATE INC  
150 N BARTLETT STREET  
MEDFORD, OR 97501

RESIDENT  
1520 E I30  
ROCKWALL, TX 75087

RESIDENT  
1530 S I30  
ROCKWALL, TX 75087

RESIDENT  
1535 I30  
ROCKWALL, TX 75087

RESIDENT  
1540 I30  
ROCKWALL, TX 75087

RESIDENT  
1545 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1550 E I30  
ROCKWALL, TX 75087

AM ROCKWALL INVESTMENTS LP  
A TEXAS LTD PARTNERSHIP  
1551 E INTERSTATE 30 STE A  
ROCKWALL, TX 75087

RESIDENT  
1650 S JOHN KING  
ROCKWALL, TX 75087

DVB FAMILY LIMITED PARTNERSHIP  
2421 KATHRYN DR  
HEATH, TX 75032

H E B LP  
646 SOUTH FLORES STREET  
SAN ANTONIO, TX 78204

DYNACAP HOLDINGS LTD &  
CHARLES SMITH  
709 W RUSK ST STE B  
ROCKWALL, TX 75087

ZBH/1535 E INTERSTATE 30 LTD  
9669 JOURDAN WAY  
DALLAS, TX 75230

ROCKWALL CREDIT SERVICES LC  
PO BOX 1870  
ROCKWALL, TX 75087

STAR HUBBARD LLC  
C/O STEADFAST COMPANIES  
PO BOX 530292  
BIRMINGHAM, AL 35253

1540 EAST IH 30 ROCKWALL LLC  
PO BOX 570809  
DALLAS, TX 75357

ROCKWALL RENTAL PROPERTIES LP  
PO BOX 818  
TERRELL, TX 75160



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-032: SUP for Automotive Dealership**

Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a *Specific Use Permit (SUP)* superseding Ordinance No. 22-02 [S-266] and allowing the expansion of an existing Motor Vehicle Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-032: SUP for Automotive Dealership**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



June 16, 2023

Planning Dept.  
City of Rockwall  
385 S Goliad St.  
Rockwall, Texas 75087

Re: SUP Zoning Request  
Letter of Intent

To Whom It May Concern,

Please let this letter serve as the Letter of Intent for the SUP Zoning request of approximately 7.17 acres of land located off I-30 in Rockwall, Texas. It is our understanding that a SUP rezoning is required to amend the site plan and building elevations on the subject tract. The proposed development will include a building renovation, expansion on the front façade, expanded service canopy, addition of a new customer delivery canopy, a carwash, and an oil/lube building. The property currently has open storage in the rear of the building that is non-conforming. This SUP requests this area be allowed given improved screening and paving are to be provided as a part of this project.

This SUP request is in response to a change in the site plan, from the previously approved SUP for the subject property. The major changes from the approved SUP are 1) an additional bay has been added to the service canopy attached to the east side of the existing building. 2) The oil/lube building has grown and rotated 90 degrees. Other minor site changes have been made in response to these changes for paving and parking stalls in the areas adjacent to the major changes.

Should you have any questions, please feel free to contact me.

Sincerely,

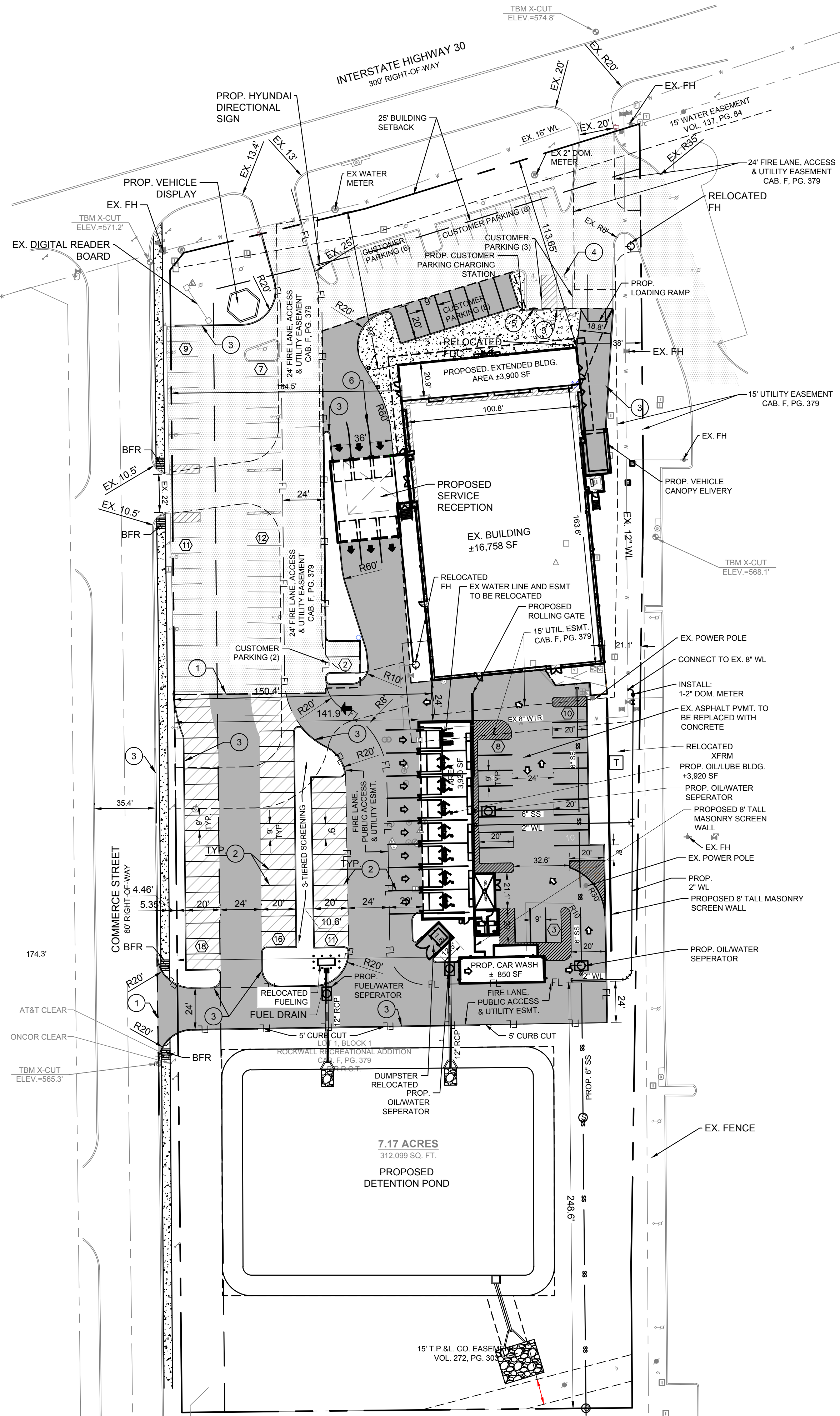
Claymoore Engineering, Inc.  
1903 Central Drive Ste. 406  
Bedford, TX 76021  
817-281-0572

A handwritten signature in blue ink that reads "Drew Donosky".

Drew Donosky, P.E.

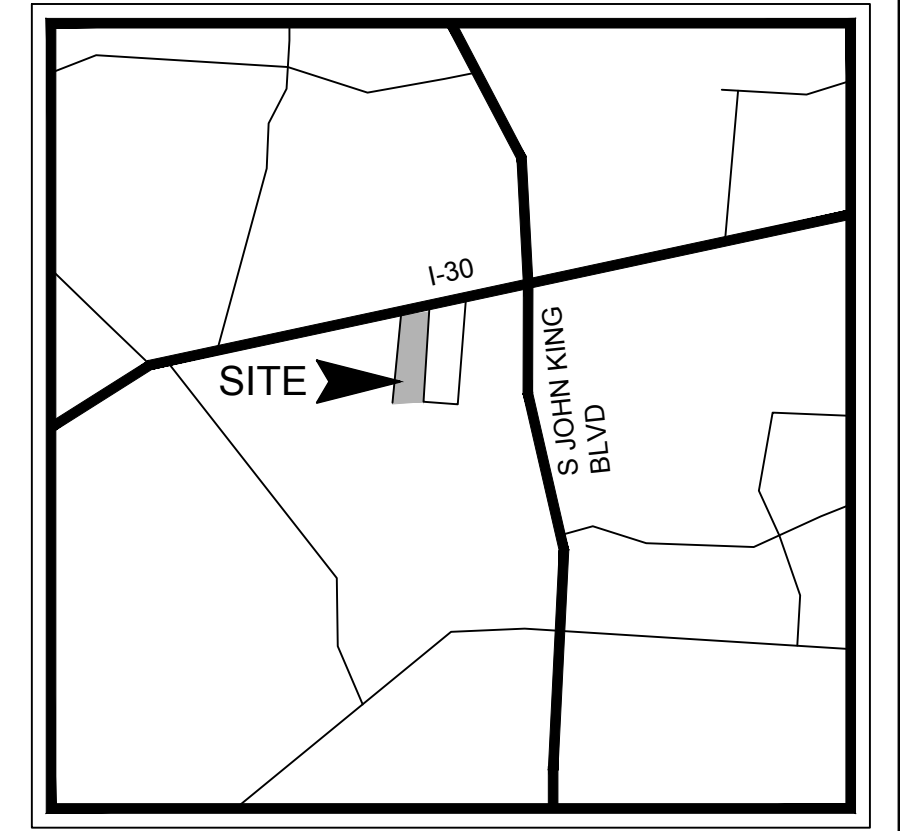
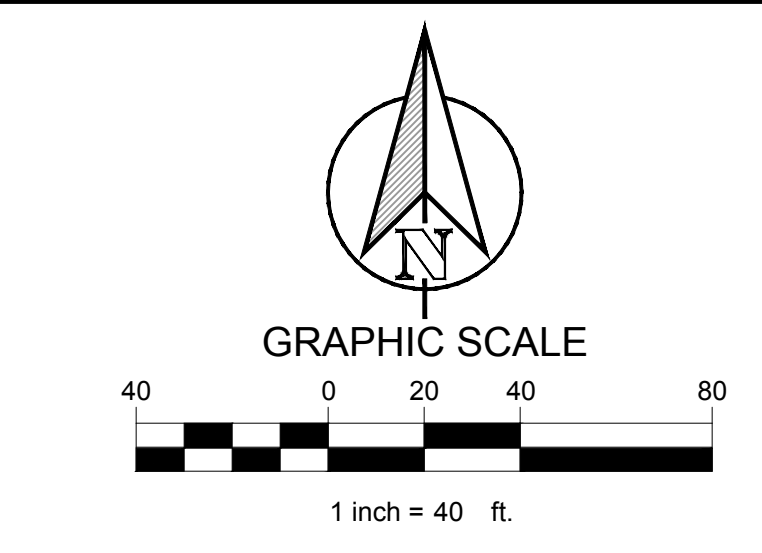


PLOTTED BY: LYNN ROWLAND  
 PLOT DATE: 7/17/2023 7:59 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2021-200 COOLEY ROCKWALL HYUNDAI\CADD\SHEETS\SP-1 CITY SITE PLAN.DWG  
 LAST SAVED: 7/18/2023 3:58 PM



SITE DATA TABLE	
SITE AREA	7.71 AC (312,099 SF)
ZONING	L1
PROPOSED USE	AUTO DEALER
BUILDING SIZE	20,658 SF (DEALERSHIP)
	850 SF (CARWASH)
	3,920 SF (OIL/LUBE)
LOT COVERAGE	0.07 %
FLOOR TO AREA RATIO	0.07 : 1
BUILDING HEIGHT	1 STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,303 SF
# OF BAYS	12

PARKING DATA TABLE	
PARKING REQ.	
SALES FLOOR 1/ 250 SF	16 SPACES
OFFICE SF 1/ 300 SF	5 SPACES
2 PER 2 BAY	16 SPACES
TOTAL:	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	66 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES
SERVICE/STORAGE PARKING	21 SPACES



CONSTRUCTION SCHEDULE	
1	PROP. SAW CUT FULL DEPTH EXISTING PAVEMENT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CONCRETE CURB & GUTTER
4	EX. HANDICAP SYMBOL
5	EX. HANDICAP SIGN
6	PROP. PAVEMENT STRIPING
7	PROP. PROPOSED BOLLARD

- NOTES:
1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
  6. ALL DUMPSTERS TO HAVE SELF LATCHING GATES.
  7. ADDITIONAL LANDSCAPING SHALL BE ADDED AS A COMPENSATORY MEASURE FOR THE SITE PLAN VARIANCES.

CONSTRUCTION SCHEDULE	
[Pattern]	EXISTING CONCRETE PAVEMENT
[Pattern]	FIRE LANE AND DRIVE ASILE 6", 3600 PSI (6.5 SACK/CY), #3 ON 18" ON 6" LIME STABILIZED SUBGRADE
[Pattern]	PARKING 5", 3600 PSI (6.5 SACK/CY), #3 ON 24" ON 6" LIME STABILIZED SUBGRADE
[Pattern]	PROPOSED DUMPSTER ENCLOSURE MIN. 7" THICK
[Pattern]	PROPOSED CONCRETE SIDEWALK PER DETAIL SHEET C-16
[Line Style]	PROPERTY LINE
[Line Style]	PROPOSED CONCRETE CURB AND GUTTER
[Line Style]	PROPOSED FIRE LANE
[Line Style]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

<b>CLAY COOLEY HYUNDAI</b> <b>ROCKWALL, TX 75087</b>
<small>LEGAL DESCRIPTION AND OR ADDRESS:</small> <b>ROCKWALL RECREATION ADDITION</b> <b>LOT 1 BLOCK 1</b> <b>7.17 AC (312,099 SF)</b>
<small>OWNER:</small> CLAY COOLEY AUTO 1251 E. AIRPORT FREEWAY IRVING, TX 75062
<small>APPLICANT:</small> CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572
<small>CASE NUMBER</small> Z2021-049
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____.
WITNESS OUR HANDS THIS ____ DAY OF _____.
<small>DESIGN:</small> LRR <small>DRAWN:</small> LRR <small>CHECKED:</small> CLC <small>DATE:</small> 7/21/2023
<small>PLANNING AND ZONING COMMISSION, CHAIRMAN</small>  <small>DIRECTOR OF PLANNING AND ZONING</small>
<small>FILE NO.</small> 2020-021 <b>SP-1</b>

TEXAS REGISTRATION #14199

**CLAY MOORE ENGINEERING**

1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
PHONE: 817.281.0572  
WWW.CLAYMOOREENR.COM

STATE OF TEXAS

DREW DONOSKY  
25861  
LICENSED PROFESSIONAL ENGINEER

7/21/2023

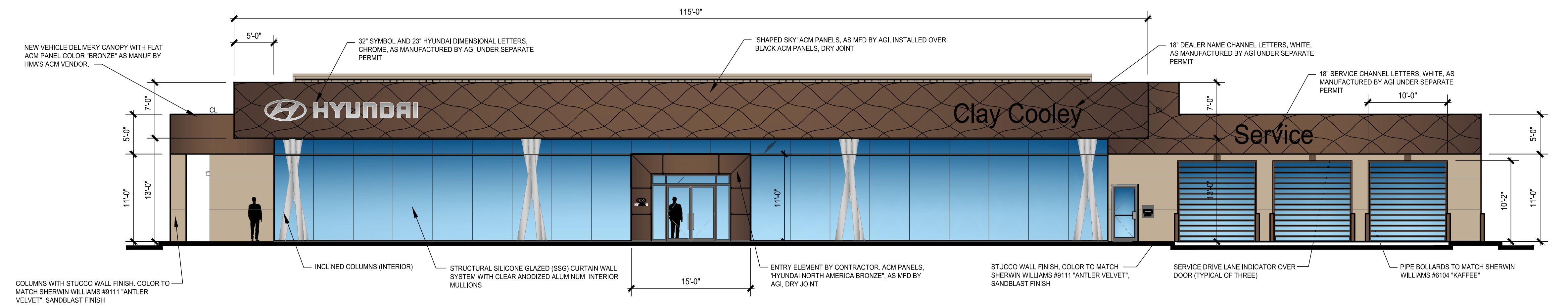
**CLAY COOLEY HYUNDAI**  
**1540 I-30**  
**ROCKWALL, TX 75087**

**CITY SITE PLAN**

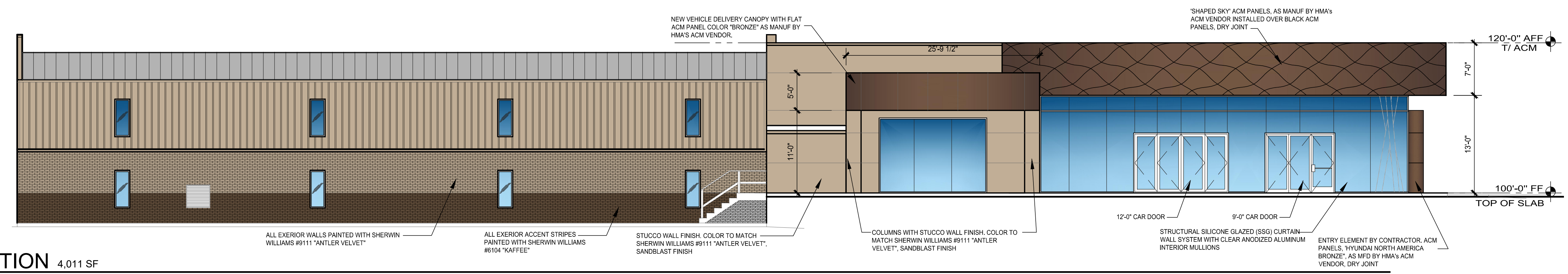
7.17 ACRES  
 312,099 SQ. FT.  
 PROPOSED  
 DETENTION POND



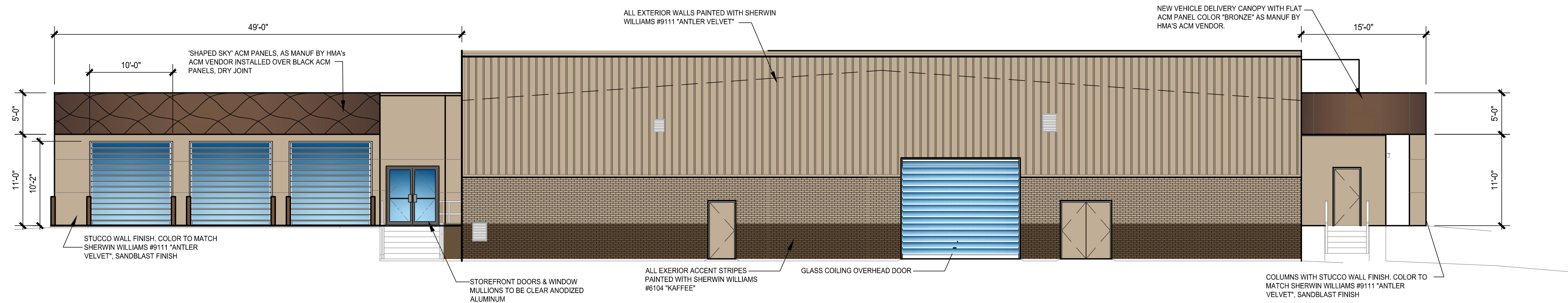
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 PLOT DATE: 6/15/2023 2:23 PM  
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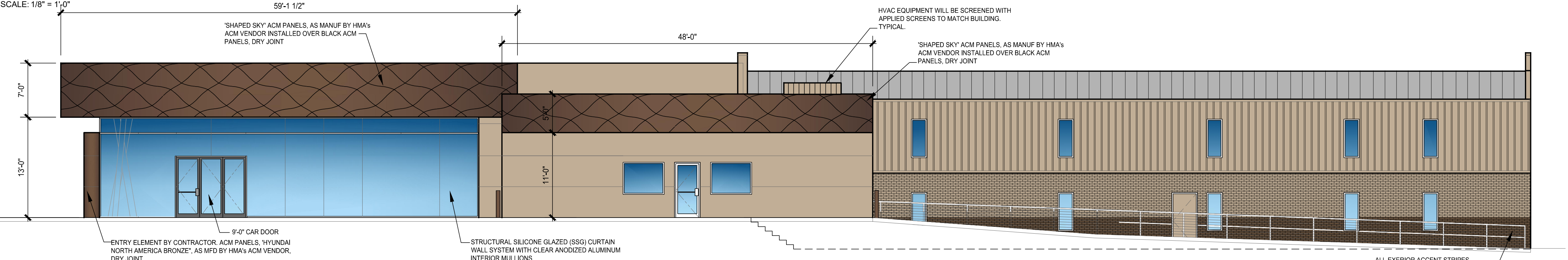
**4 NORTH ELEVATION - FACES I-30** 3,115 SF  
 SCALE: 1/8" = 1'-0"



**3 EAST ELEVATION** 4,011 SF  
 SCALE: 1/8" = 1'-0"



**2 SOUTH ELEVATION** 3,591 SF  
 SCALE: 1/8" = 1'-0"



**1 WEST ELEVATION** 3,908 SF  
 SCALE: 1/8" = 1'-0"

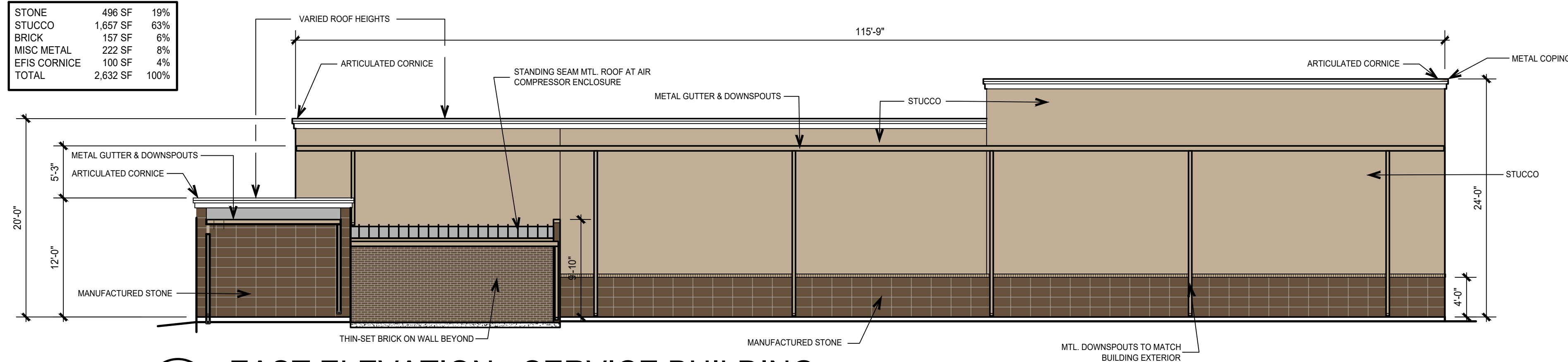
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING ARE TRUTHFUL AND ACCURATE REPRESENTATIONS OF THE PROJECT AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF TEXAS AND AM NOT PROVIDING ARCHITECTURAL SERVICES TO THE CITY OF ROCKWALL OR THE CITY OF WOODVILLE OR ANY OTHER CITY OR COUNTY IN TEXAS.  
 PLANNING AND ZONING COMMISSION CHAIRMAN  
 DIRECTOR OF PLANNING ZONING SERVICES

**CLAY COOLEY HYUNDAI**  
**1540 I-30**  
**ROCKWALL, TX 75087**



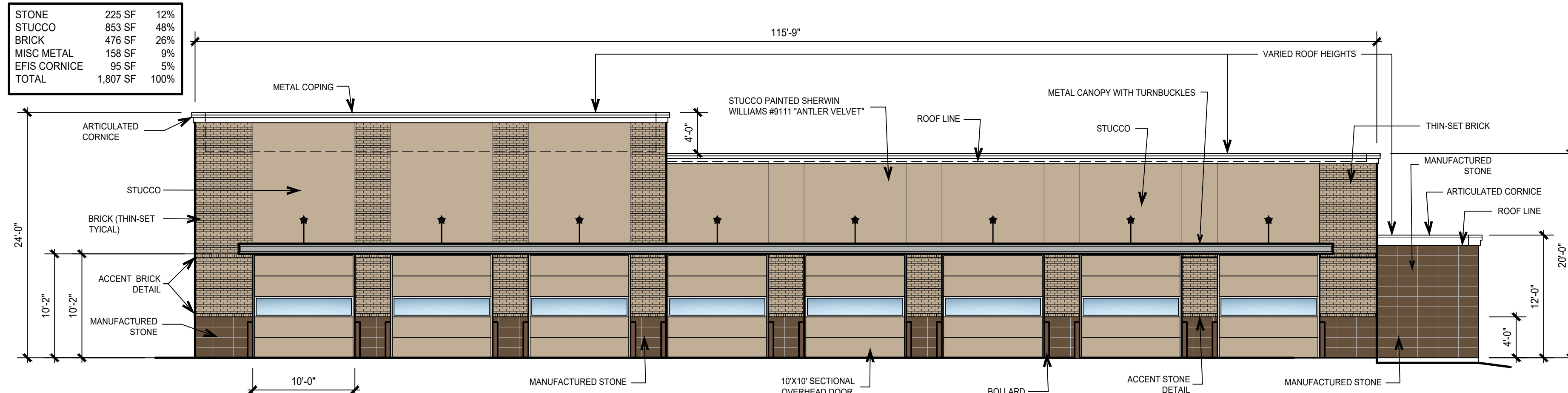
PLOTTED BY: 029-JIM  
 PLOT DATE: 7/21/2023 9:13 AM  
 LOCATION: Z:\ARCHITURE\ACTIVE\CLAY COOLEY\21034 CLAY COOLEY HYUNDAI\DRAWING FILES\RENDERINGS\21034 CC HYUNDAI ROCKWALL SERVICE EXPANSION\_COLOR ELEVATIONS\_2023-07-21.DWG  
 LAST SAVED: 7/21/2023 9:11 AM

STONE	496 SF	19%
STUCCO	1,657 SF	63%
BRICK	157 SF	6%
MISC METAL	222 SF	8%
EFIS CORNICE	100 SF	4%
TOTAL	2,632 SF	100%

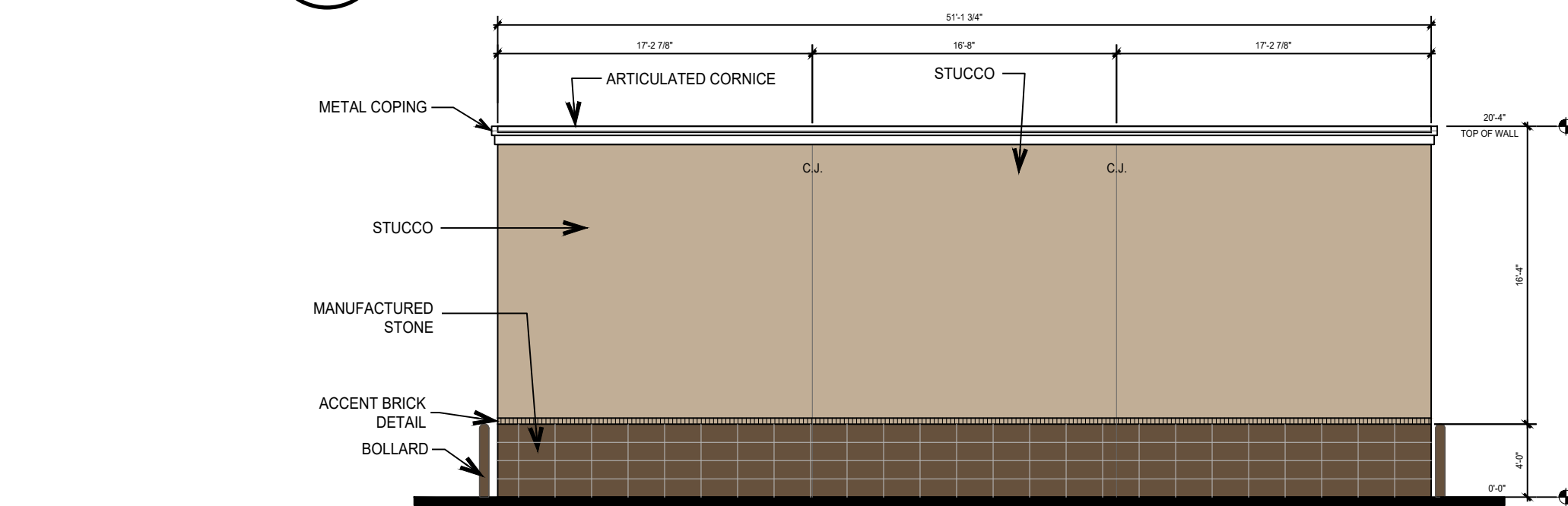


**8 EAST ELEVATION - SERVICE BUILDING**  
SCALE 1/8"=1'-0"

STONE	225 SF	12%
STUCCO	853 SF	48%
BRICK	476 SF	26%
MISC METAL	158 SF	9%
EFIS CORNICE	95 SF	5%
TOTAL	1,807 SF	100%

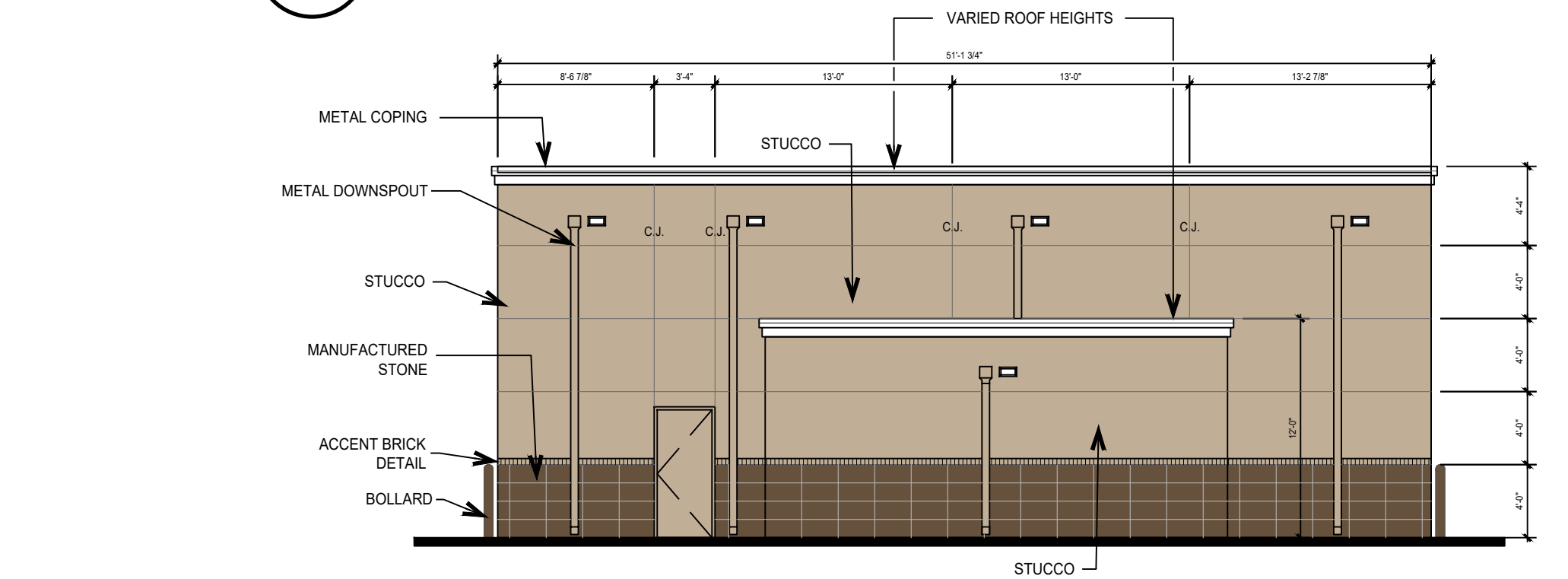


**6 WEST ELEVATION - SERVICE BUILDING - FACES CLAY COOLEY BLVD.**  
SCALE 1/8"=1'-0"



STONE	205 SF	20%
STUCCO	784 SF	75%
MISC METAL	12 SF	1%
EFIS CORNICE	39 SF	4%
TOTAL	1,040 SF	100%

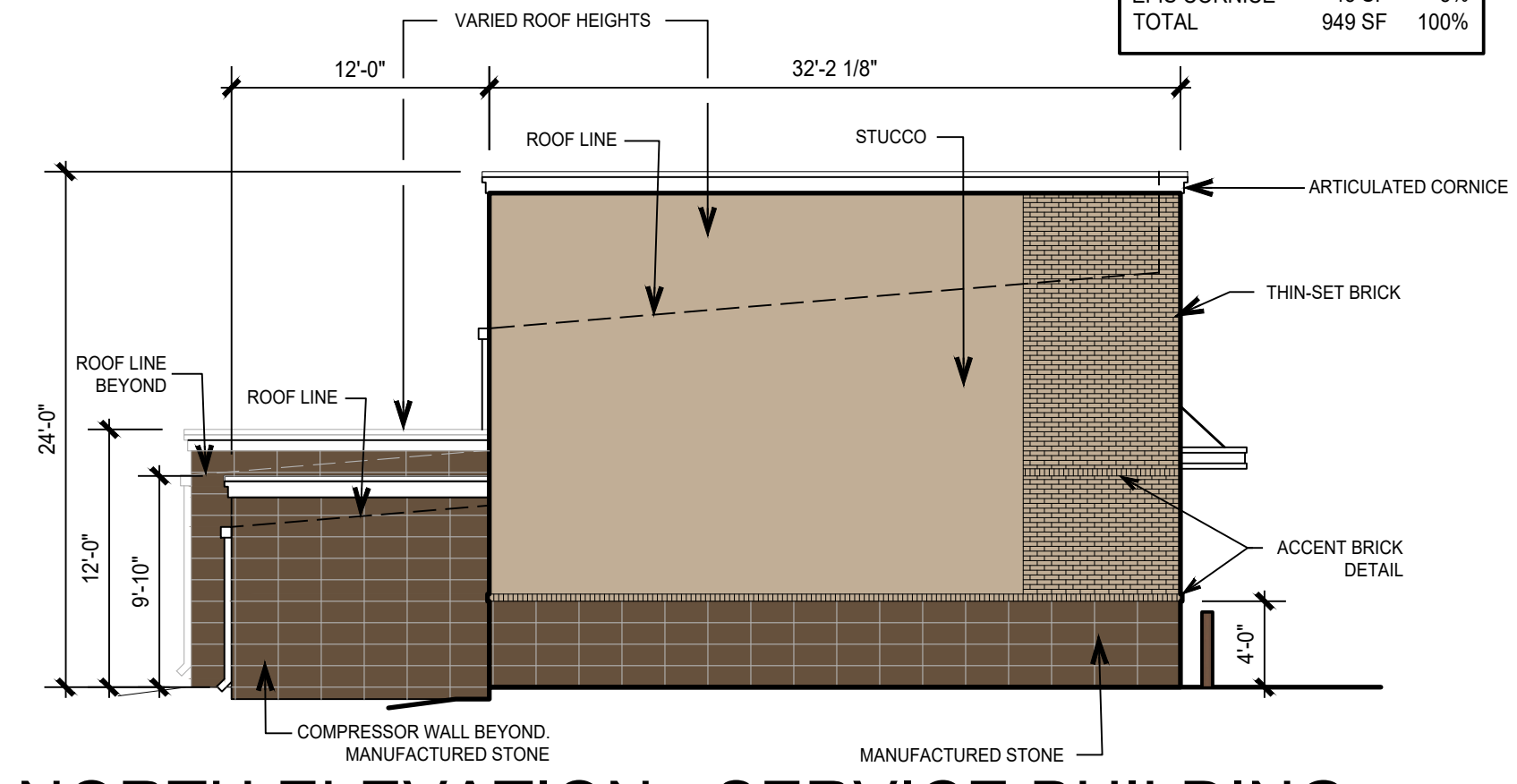
**4 SOUTH ELEVATION - CAR WASH**  
SCALE 1/8"=1'-0"



STONE	185 SF	18%
STUCCO	723 SF	71%
MISC METAL	50 SF	5%
EFIS CORNICE	58 SF	6%
TOTAL	1,016 SF	100%

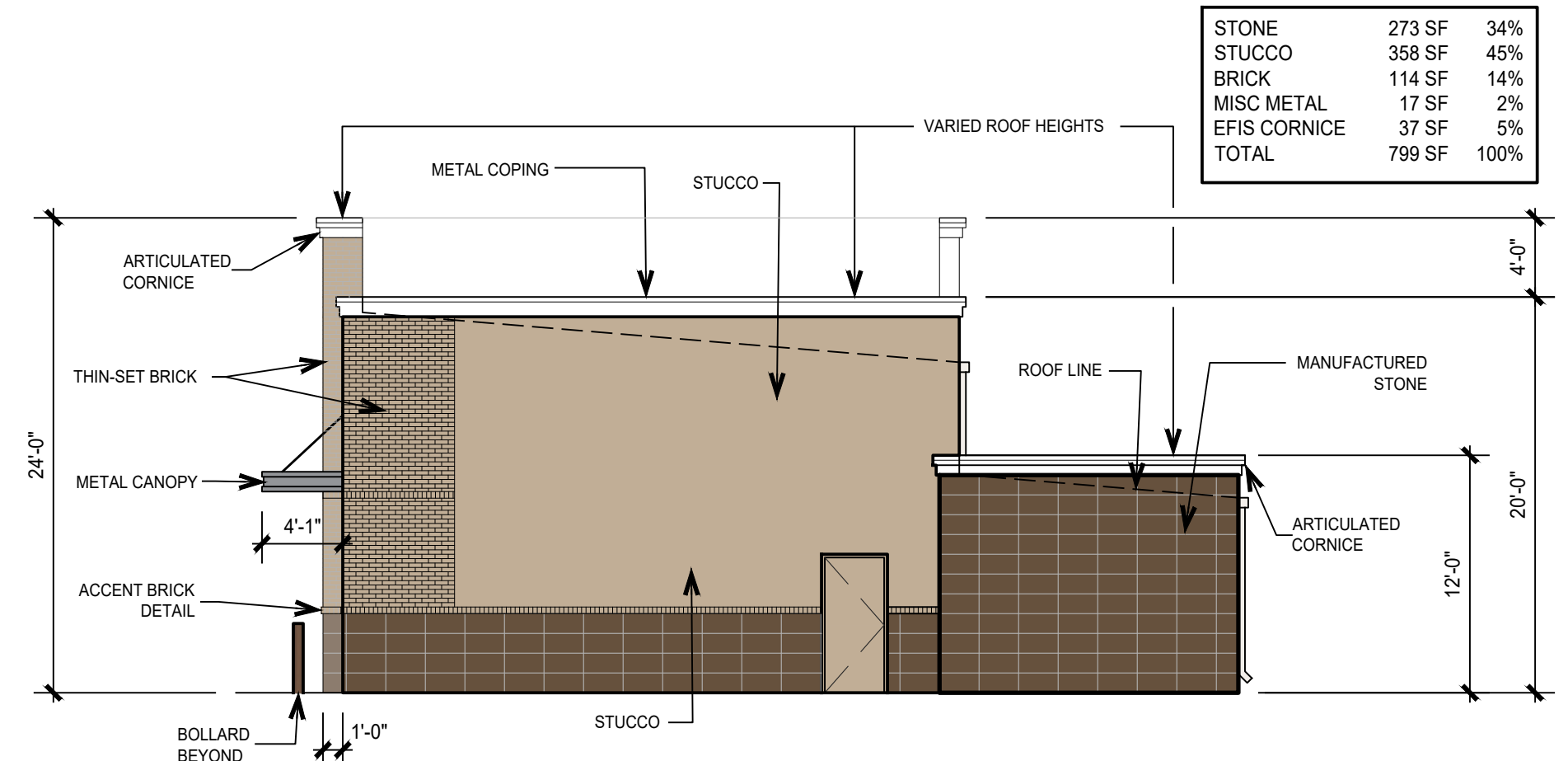
**2 NORTH ELEVATION - CAR WASH**  
SCALE 1/8"=1'-0"

STONE	273 SF	28%
STUCCO	464 SF	49%
BRICK	147 SF	15%
MISC METAL	24 SF	3%
EFIS CORNICE	45 SF	5%
TOTAL	949 SF	100%

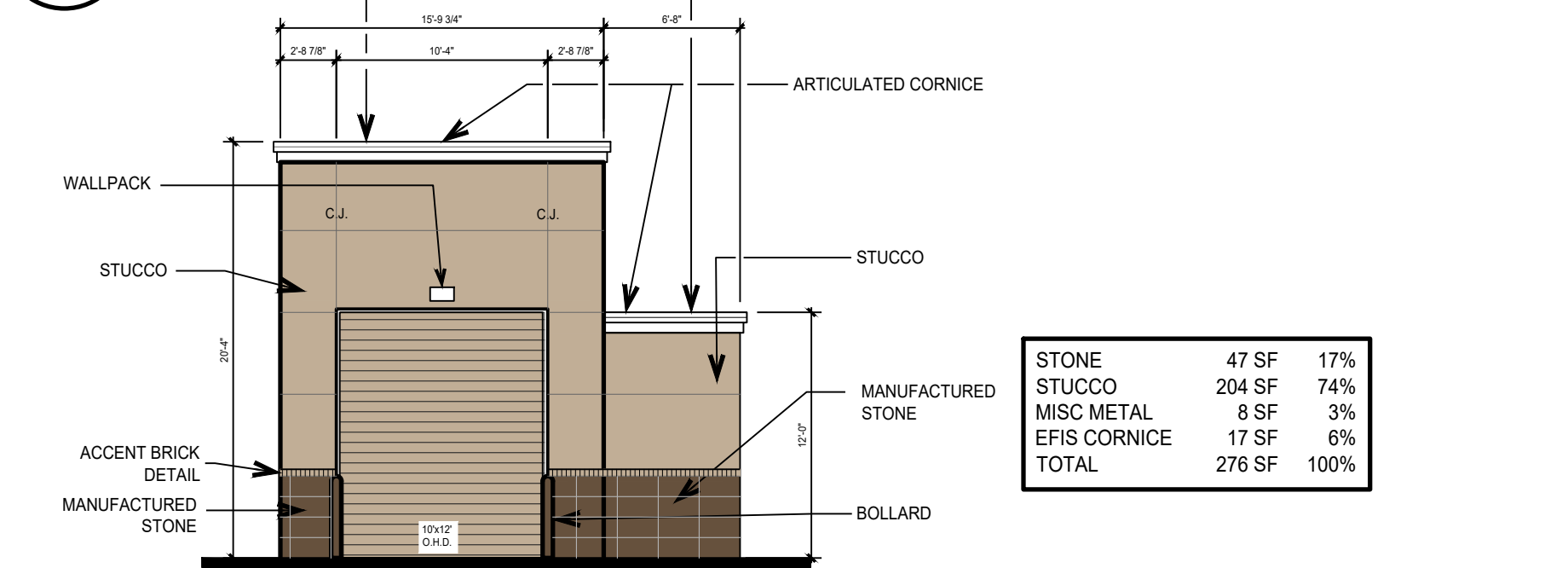


**7 NORTH ELEVATION - SERVICE BUILDING**  
SCALE 1/8"=1'-0"

STONE	273 SF	34%
STUCCO	358 SF	45%
BRICK	114 SF	14%
MISC METAL	17 SF	2%
EFIS CORNICE	37 SF	5%
TOTAL	799 SF	100%

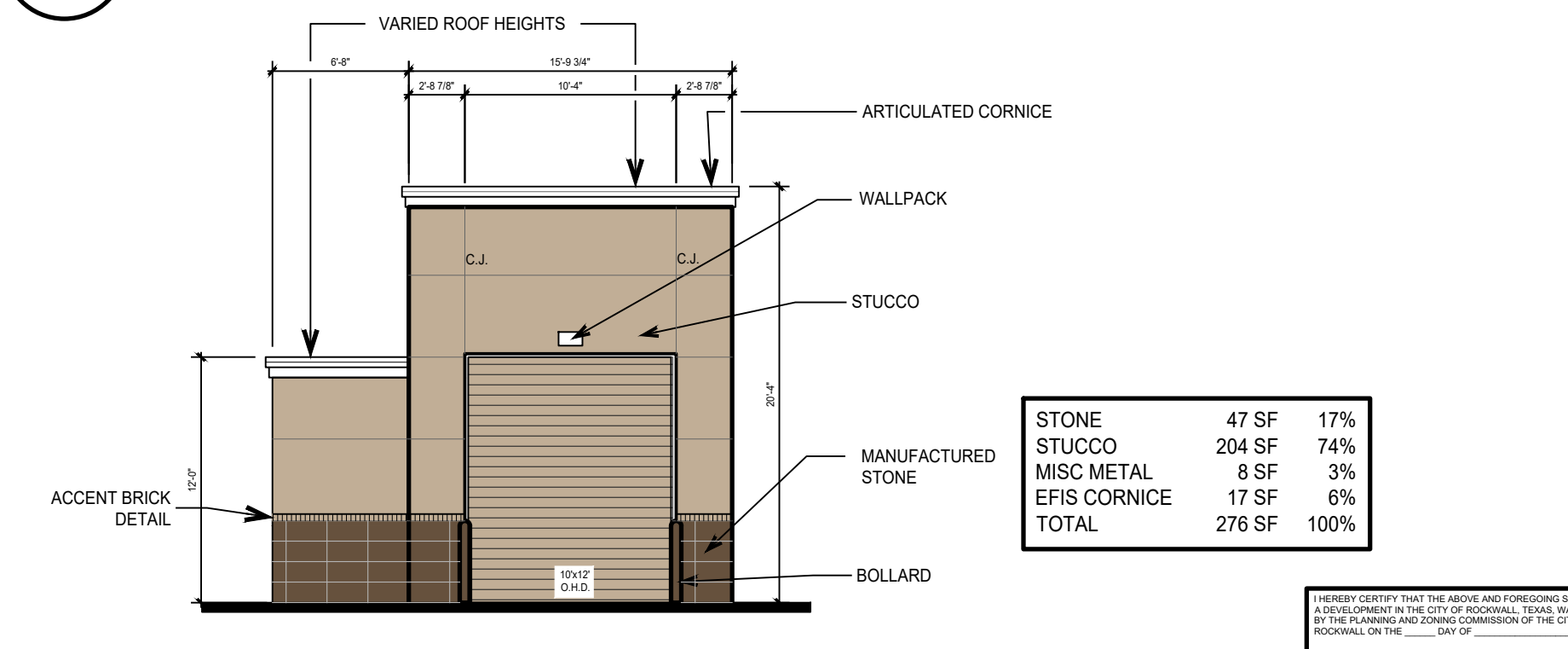


**5 SOUTH ELEVATION - SERVICE BUILDING**  
SCALE 1/8"=1'-0"



STONE	47 SF	17%
STUCCO	204 SF	74%
MISC METAL	8 SF	3%
EFIS CORNICE	17 SF	6%
TOTAL	276 SF	100%

**3 EAST ELEVATION - CAR WASH**  
SCALE 1/8"=1'-0"



STONE	47 SF	17%
STUCCO	204 SF	74%
MISC METAL	8 SF	3%
EFIS CORNICE	17 SF	6%
TOTAL	276 SF	100%

**1 WEST ELEVATION - CAR WASH**  
SCALE 1/8"=1'-0"

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN(S) IS/ARE PREPARED BY THE CITY OF ROCKWALL, TEXAS AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL, TEXAS ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.  
 \_\_\_\_\_ DAY OF \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION CHAIRMAN  
 DIRECTOR OF PLANNING AND ZONING

**CLAY COOLEY HYUNDAI**  
**1540 I-30**  
**ROCKWALL, TX 75087**



**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN  $\pm 0.1'$  OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED. THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**IRRIGATION CONCEPT**

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
- ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE UDC. (ARTICLE 08, SUBSECTION 05.04)

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

SITE DATA TABLE	
SITE AREA	7.71 AC / 312,099 SF
ZONING	LI (Light Industrial)
PROPOSED USE	AUTO DEALER
BUILDING SIZE	20,658 SF (DEALERSHIP)
	850 SF (CAR WASH)
	1,175 SF (OIL/LUBE)
LOT COVERAGE	0.07%
FLOOR TO AREA RATIO	0.07:1
BUILDING HEIGHT	1-STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,303 SF
# OF BAYS	12

PARKING DATA TABLE	
PARKING REQUIRED	
SALES FLOOR 1/250 SF	16 SPACES
OFFICE SF 1/300 SF	5 SPACES
1 SPACE PER 2 BAY	6 PARKING
TOTAL	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	87 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES

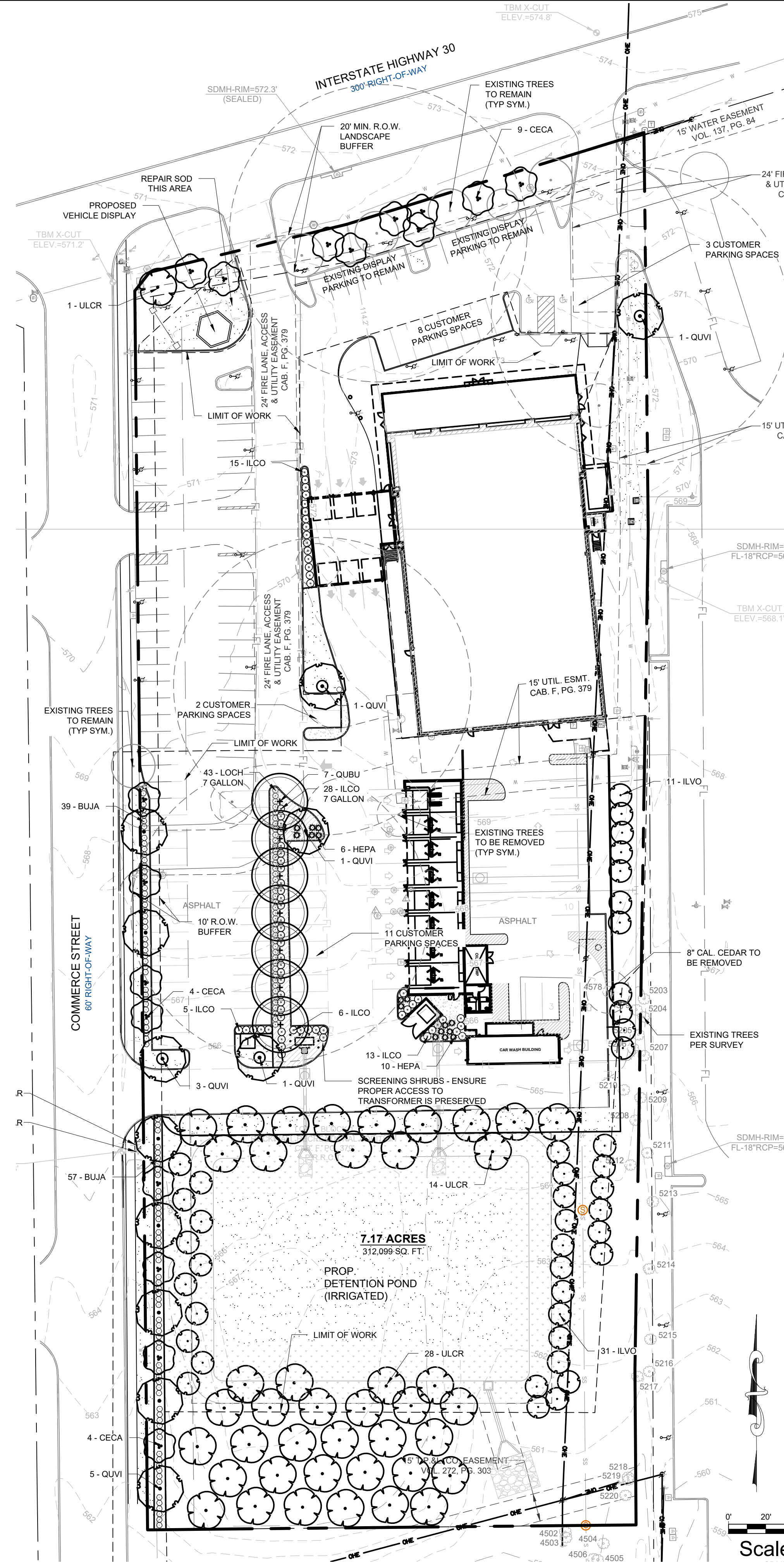
**PLANTING LEGEND**

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
<b>TREES</b>						
CECA	Cercis canadensis 'Texana'	Texas Redbud	6'-8" high	Per plan	17	Accent Tree
ILVO	Ilex vomitoria	Yaupon Holly	6'-8" high	Per plan	42	Accent Tree
QUBU	Quercus buckleyi	Texas Red Oak	5" cal., 12'-15' high	Per plan	7	Canopy Tree
QUVI	Quercus virginiana	Live Oak	5" cal., 12'-15' high	Per plan	12	Canopy Tree
ULCR	Ulmus crassifolia	Cedar Elm	5" cal., 12'-15' high	Per plan	43	Canopy Tree
<b>SHRUBS</b>						
BUJA	Buxus micro. japonica 'Green Beauty'	Green Beauty Boxwood	5 gallon	3" o.c.	96	
HEPA	Hesperaloe parviflora 'Brakelights'	Red Yucca	5 gallon	4" o.c.	16	
ILOCO	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 gallon / 7 gallon	4" o.c.	39 / 28	See plan for 7 gal. locations
LOCH	Loropetalum chinense 'PILC-III'	Purple Daydream Loropetalum	7 gallon	3" o.c.	43	
<b>TURF AND SEED</b>						
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	~ 24,885 SF	
	Dam Slope Mix (Contact Native American Seed)		Hydromulch	20 lbs / acre	~ 20,481 SF	

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

**LANDSCAPE STANDARDS**

<b>08.05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b> REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
<b>COMMERCE STREET:</b> ±398' OF STREET FRONTAGE	10' WIDE BUFFER REQUIRED W/ 1 CANOPY & 1 ACCENT TREE PER 50' OF FRONTAGE
<b>PROVIDED IN 10' BUFFER:</b>	8 OAKS, 8 REDBUDS, SHRUBS, & GROUND COVER
<b>05.06 GENERAL OVERLAY DISTRICT STANDARDS - IH-30 OVERLAY</b> REQ. LANDSCAPE BUFFER:	20' WIDE W/ GROUND COVER & BUILT-UP BERM & SHRUBBERY ALONG ENTIRE LENGTH OF FRONTAGE, 30"-48" HIGH; 2 CANOPY TREES + 4 ACCENT TREES PER 100 LIN. FT. OF PRIMARY ROADWAY
<b>±237 ROADWAY FRONTAGE REQ. PLANTING:</b> PROVIDED IN 20' BUFFER, EXISTING: PROPOSED IN 20' BUFFER:	4.7 (5) CANOPY TREES + 9.5 (10) ACCENT TREES 4 CANOPY TREES + 1 ACCENT TREE; SHRUBBERY 1 CEDAR ELM + 9 REDBUDS
<b>05.02 LANDSCAPE SCREENING</b> REQ. HEADLIGHT SCREENING:	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS BOXWOOD SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGE TO MATCH EXISTING SHRUBS
<b>PROVIDED SCREENING:</b>	A WROUGHT IRON FENCE AND THREE (3) TIERED SCREENING (I.E. SMALL TO MID-SIZED SHRUBS, LARGE SHRUBS OR ACCENT TREES, AND CANOPY TREES) ALONG THE ENTIRE LENGTH OF THE ADJACENCY. THE CANOPY TREES SHALL BE PLACED ON 20-FOOT CENTERS.
<b>REQUIRED SCREENING OF SERVICE BAYS:</b>	TEXAS RED OAK TREES, DWARF BURFORD HOLLY, AND PURPLE DAYDREAM LOROPETALUM ARE PROPOSED TO PROVIDE THE THREE-TIER PLANTING SCREEN.
<b>PROVIDED SCREENING:</b>	MIN. 100% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
<b>05.03 LANDSCAPE REQUIREMENTS - L-1 DISTRICT</b> TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	312,099 SF 62,420 SF (20%) ±79,574 SF (25%)
<b>LOCATION OF LANDSCAPING:</b>	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.
<b>MIN. SIZE OF AREAS</b>	MIN. 1 CANOPY & 1 ACCENT TREE PER 750 SF ±31,539 SF 42 CANOPY TREES & 42 ACCENT TREES 42 CEDAR ELM & 42 YAUPON HOLLY
<b>DETENTION BASINS</b> DETENTION BASIN AREA: REQUIRED TREES: PROVIDED TREES:	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA. I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 2023.
<b>PARKING LOT LANDSCAPING</b>	27 (2 ADA) SPACES, ±20,759 SF 87 SPACES, ±27,124 SF 1,038 SF (5%) 3,734 SF (18%) REQ. PARKING SPACES MUST BE WITHIN 80' OF CANOPY TREE TRUNK
<b>PROPOSED CUSTOMER PARKING AREA:</b> <b>PROPOSED DISPLAY PARKING AREA:</b> <b>REQ. PARKING LOT LANDSCAPING:</b> <b>PROPOSED PARKING LOT LANDSCAPING:</b>	PLANNING AND ZONING COMMISSION, CHAIRMAN  DIRECTOR OF PLANNING AND ZONING



**EVERGREEN DESIGN GROUP**  
 (800) 680-6630  
 15455 Dallas Pkwy., Ste 600  
 Addison, TX 75001  
 www.EvergreenDesignGroup.com

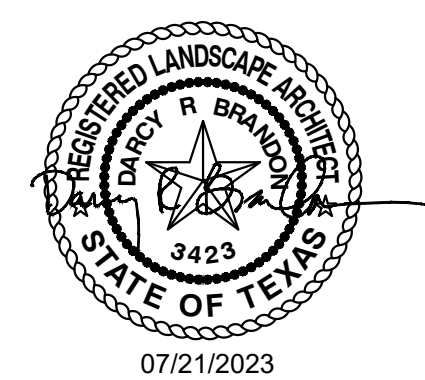
**CLAY MOORE ENGINEERING**  
 1903 CENTRAL DR. SUITE 400E  
 ROCKWALL, TX 75087  
 PHONE: (972) 801-0972  
 WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 DREW DONOSKY  
 Engineer, No. 125651, Date: 7/21/2023  
 7/21/2023

**CLAY COOLEY HYUNDAI**  
**1540 I-30**  
**ROCKWALL, TX 75087**

NO.	DESCRIPTION	DATE

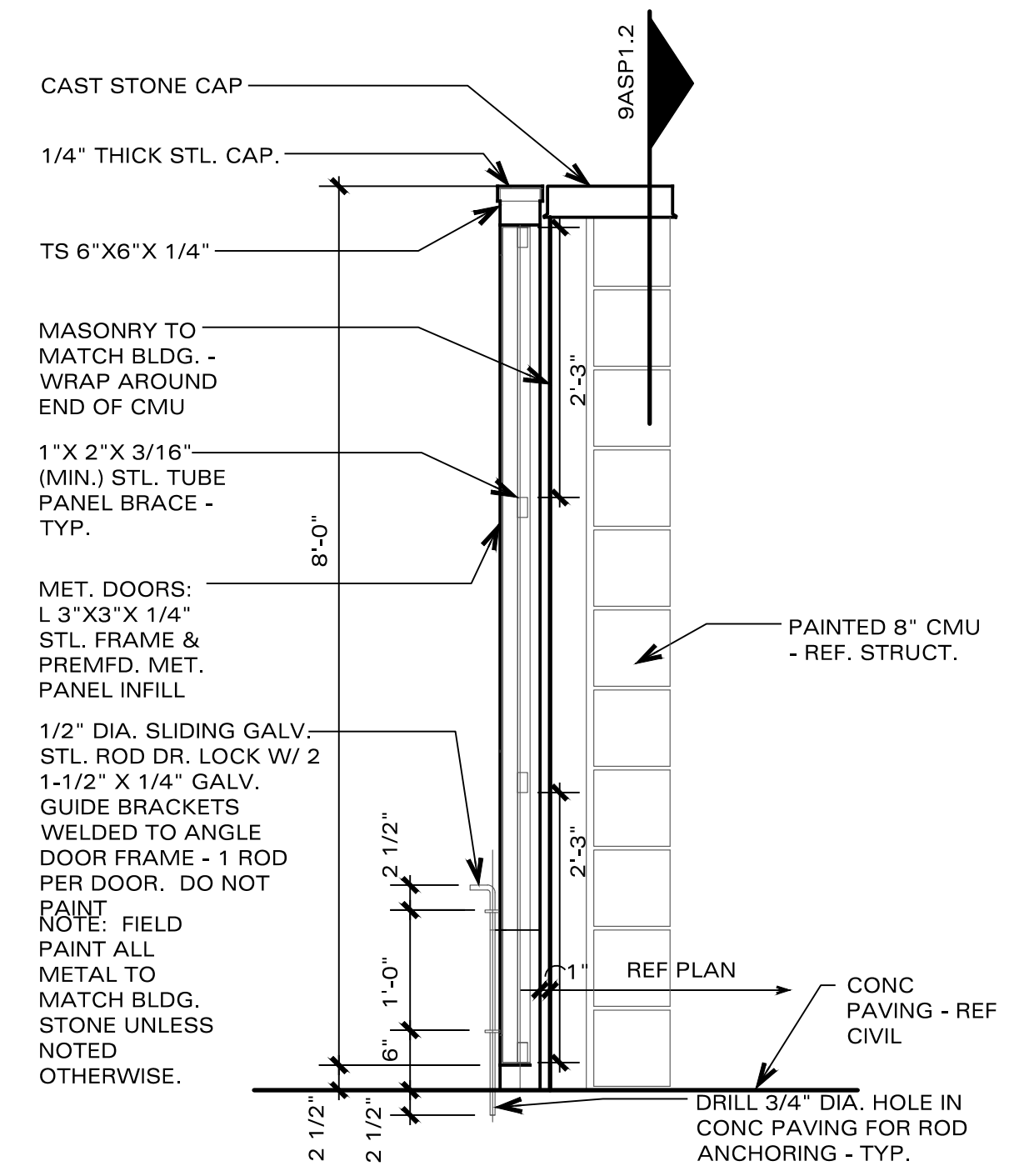
**LANDSCAPE PLANTING PLAN**



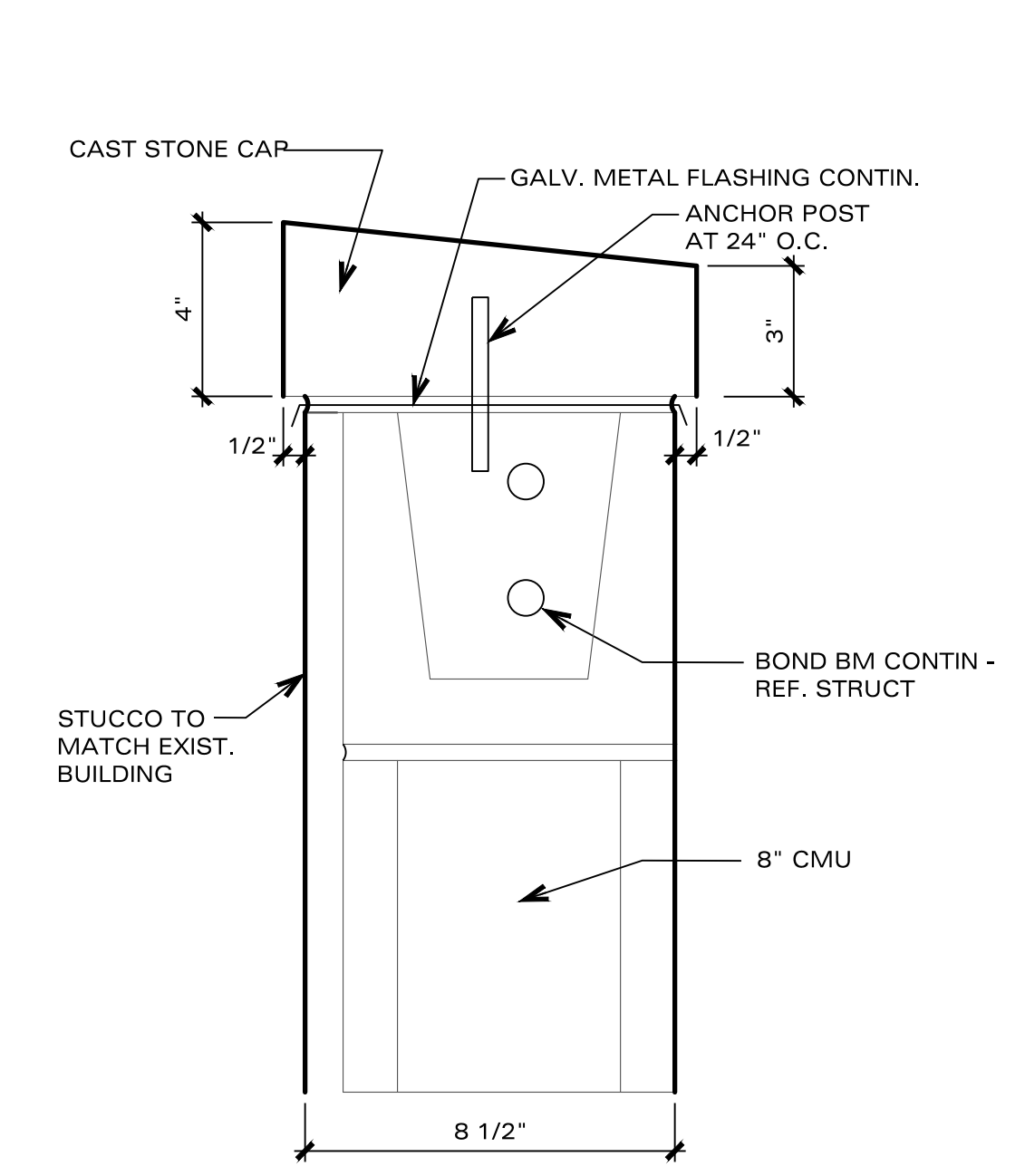
PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 7/21/2023 9:14 AM  
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA\_PROJECTS\2021\EDG\COOLEY HYUNDAI - ROCKWALL, TX\COOLEY HYUNDAI - ROCKWALL LP\_2023-07-20.DWG  
 LAST SAVED: 7/21/2023 9:14 AM

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 02-02-2020  
 SHEET  
**LP-1**  
 File No. 2020-021

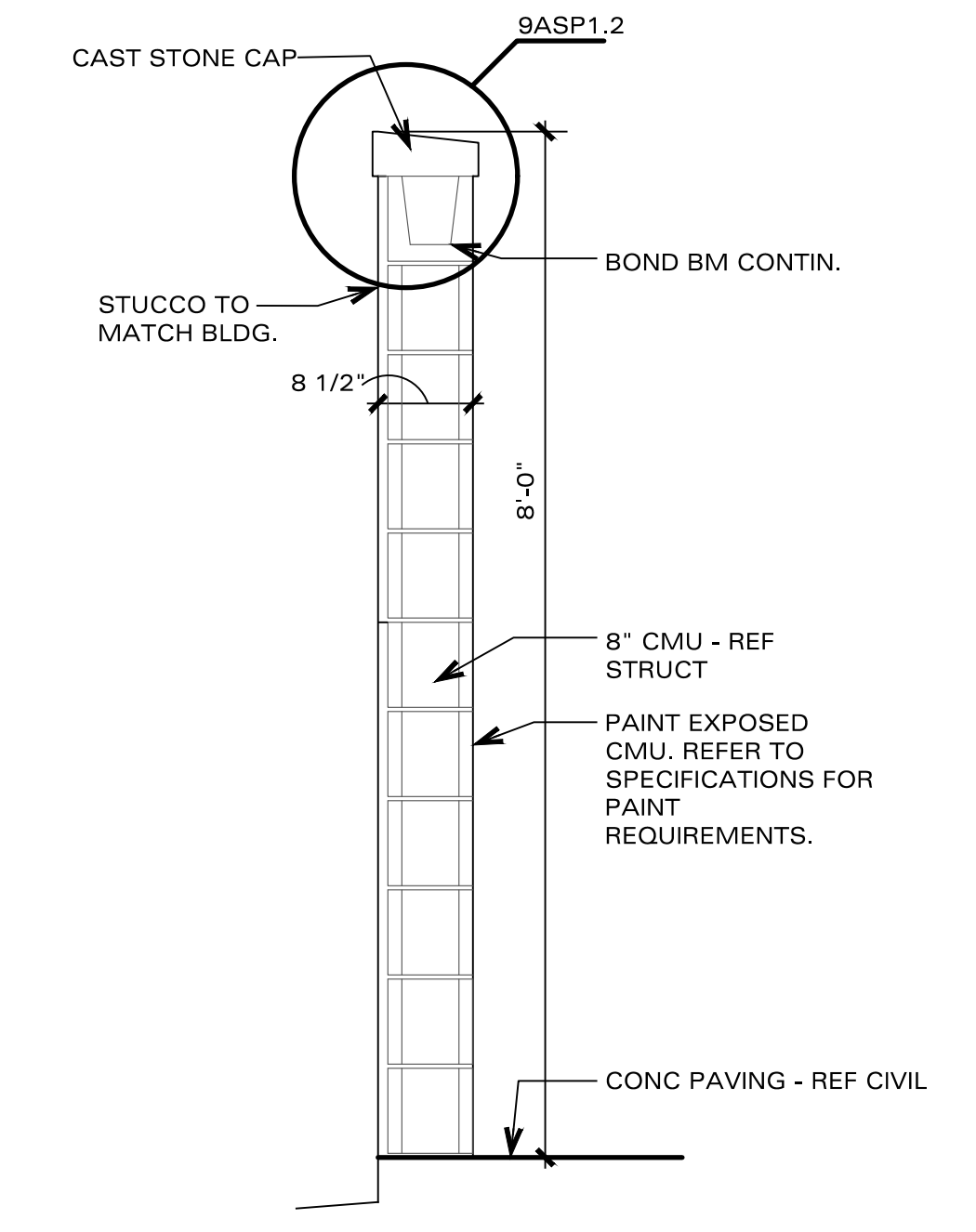




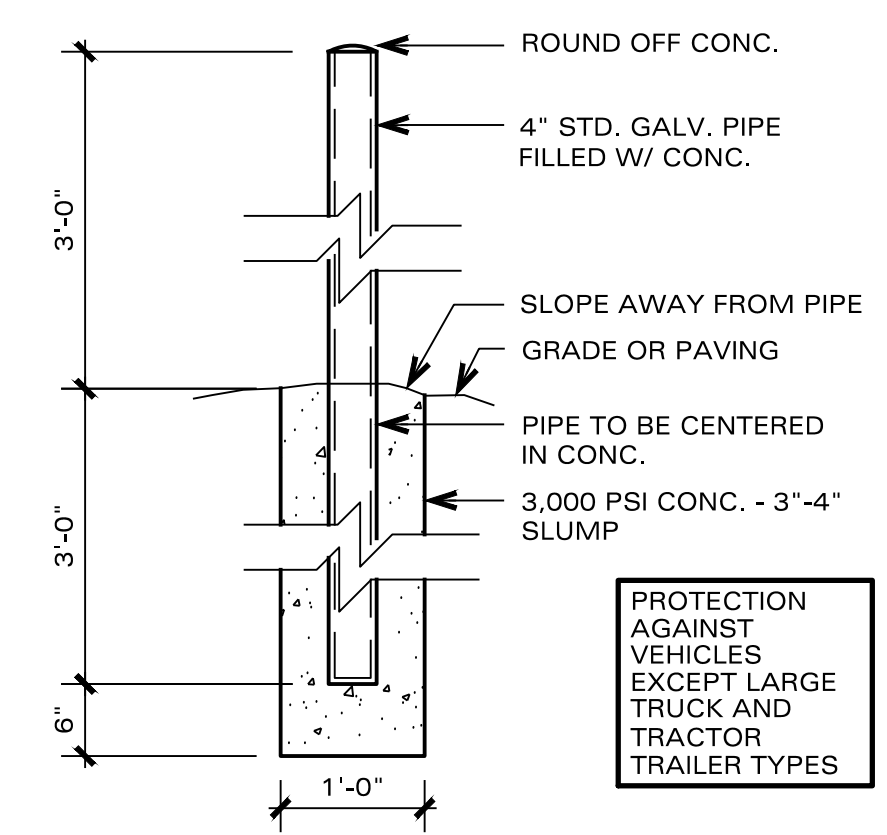
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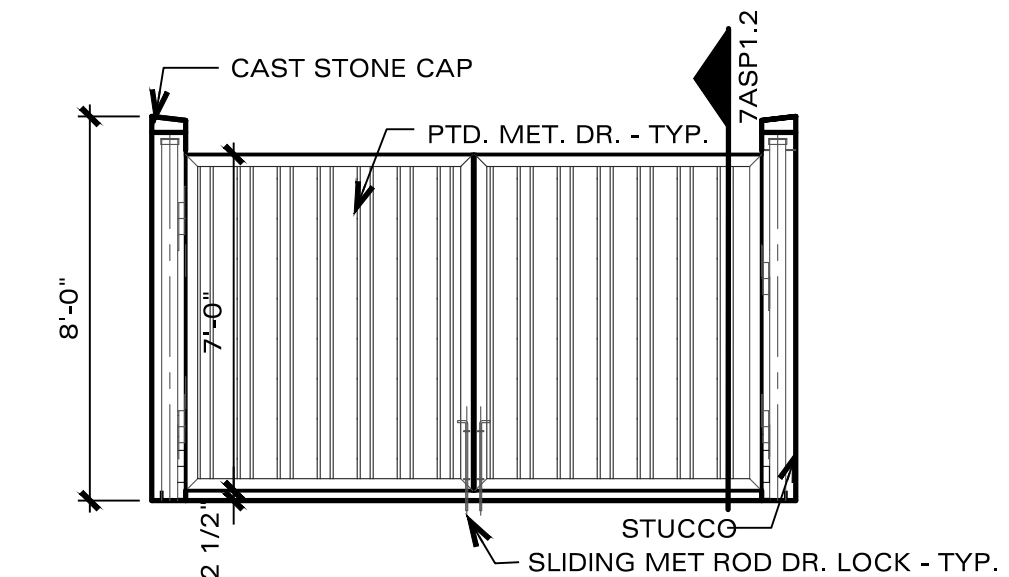
**9 CAST STONE SECTION**  
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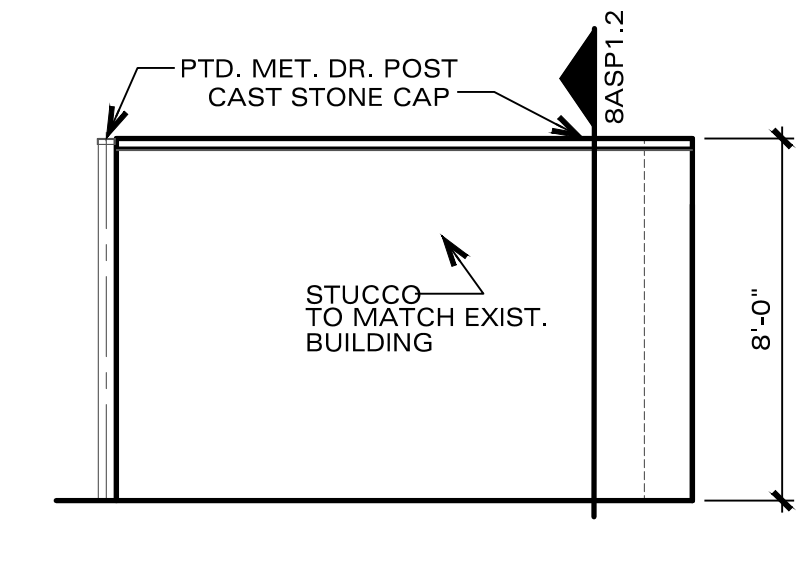
**8 SECTION**  
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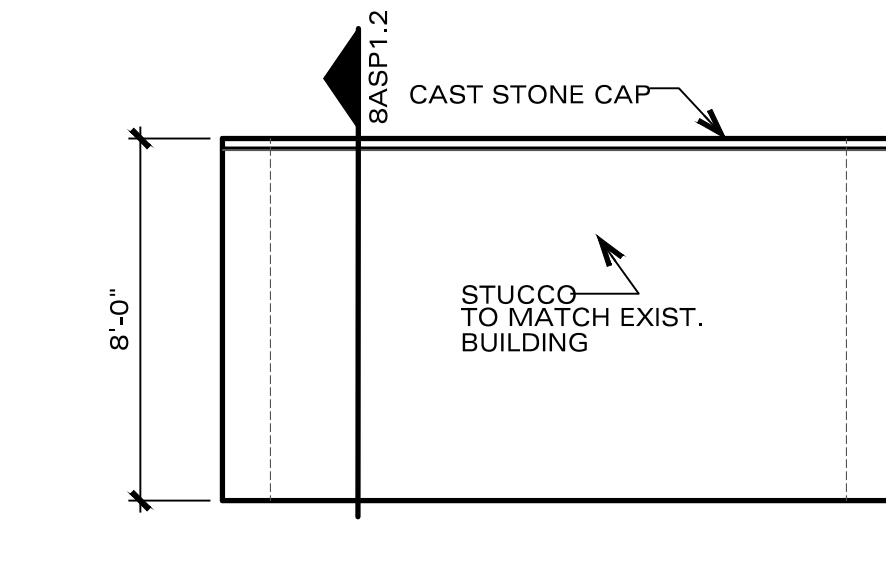
**6 BOLLARD**  
SCALE 3/4"=1'-0"



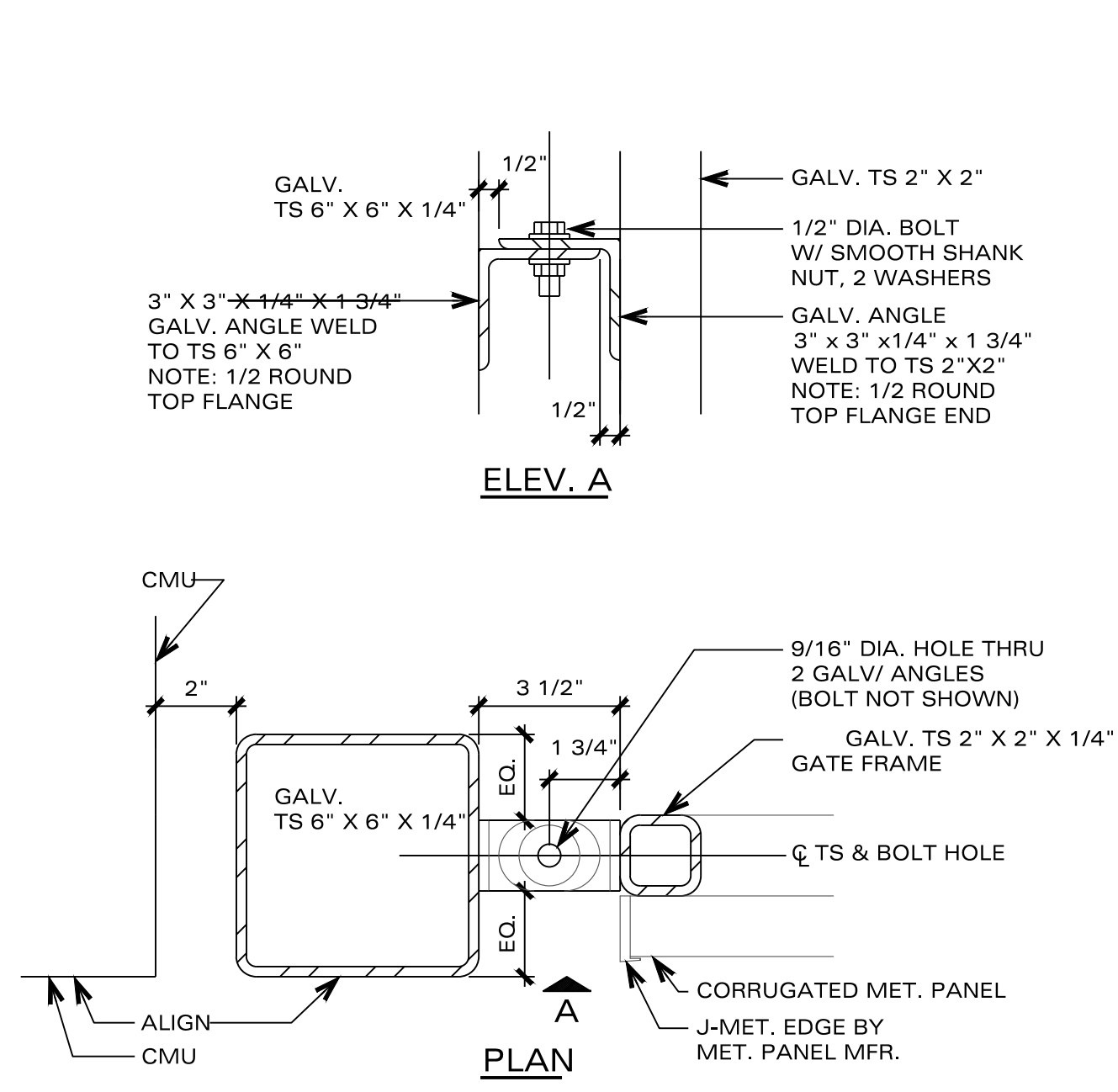
**5 ELEVATION**  
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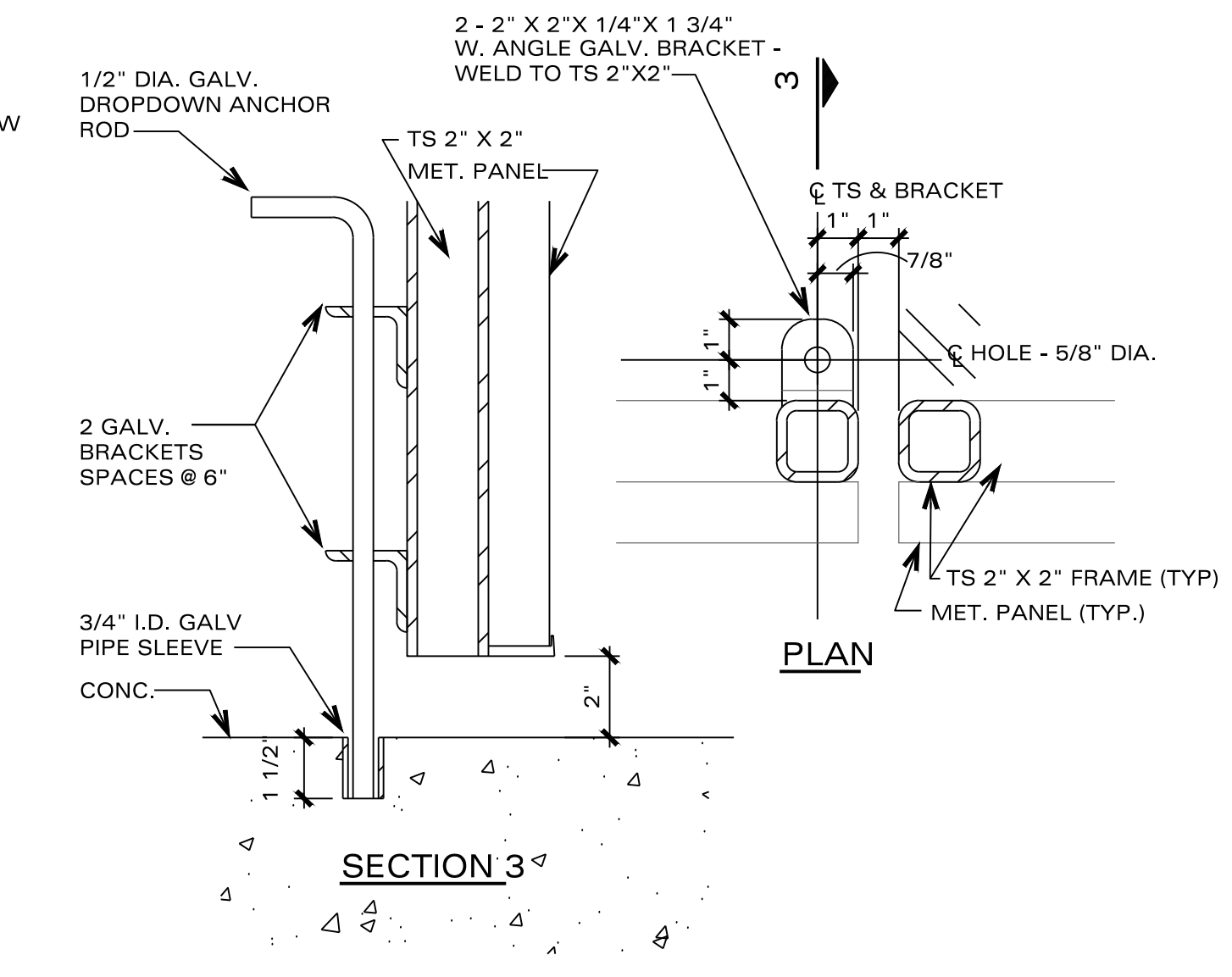
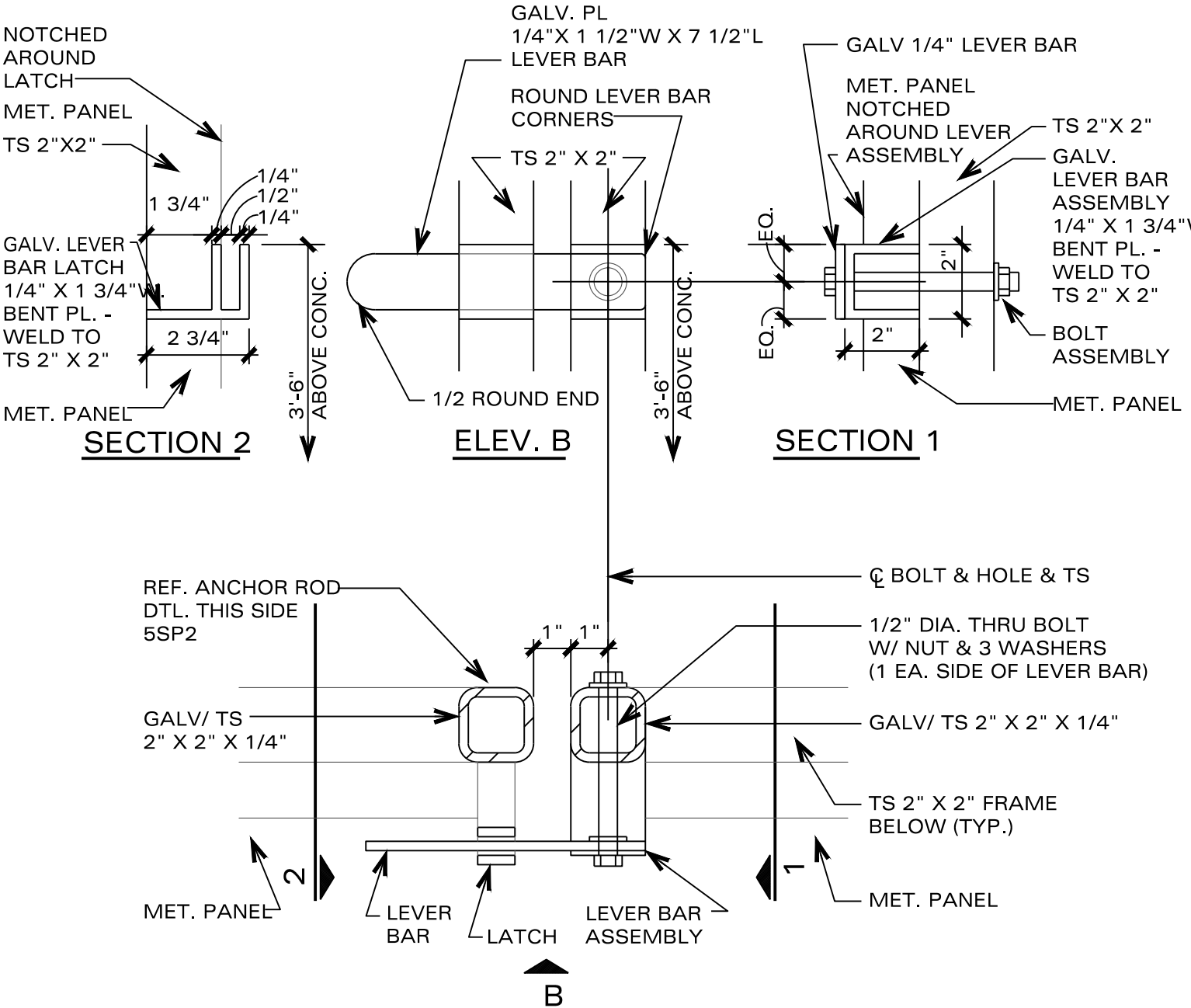
**4 ELEVATION**  
SCALE 1/4"=1'-0"



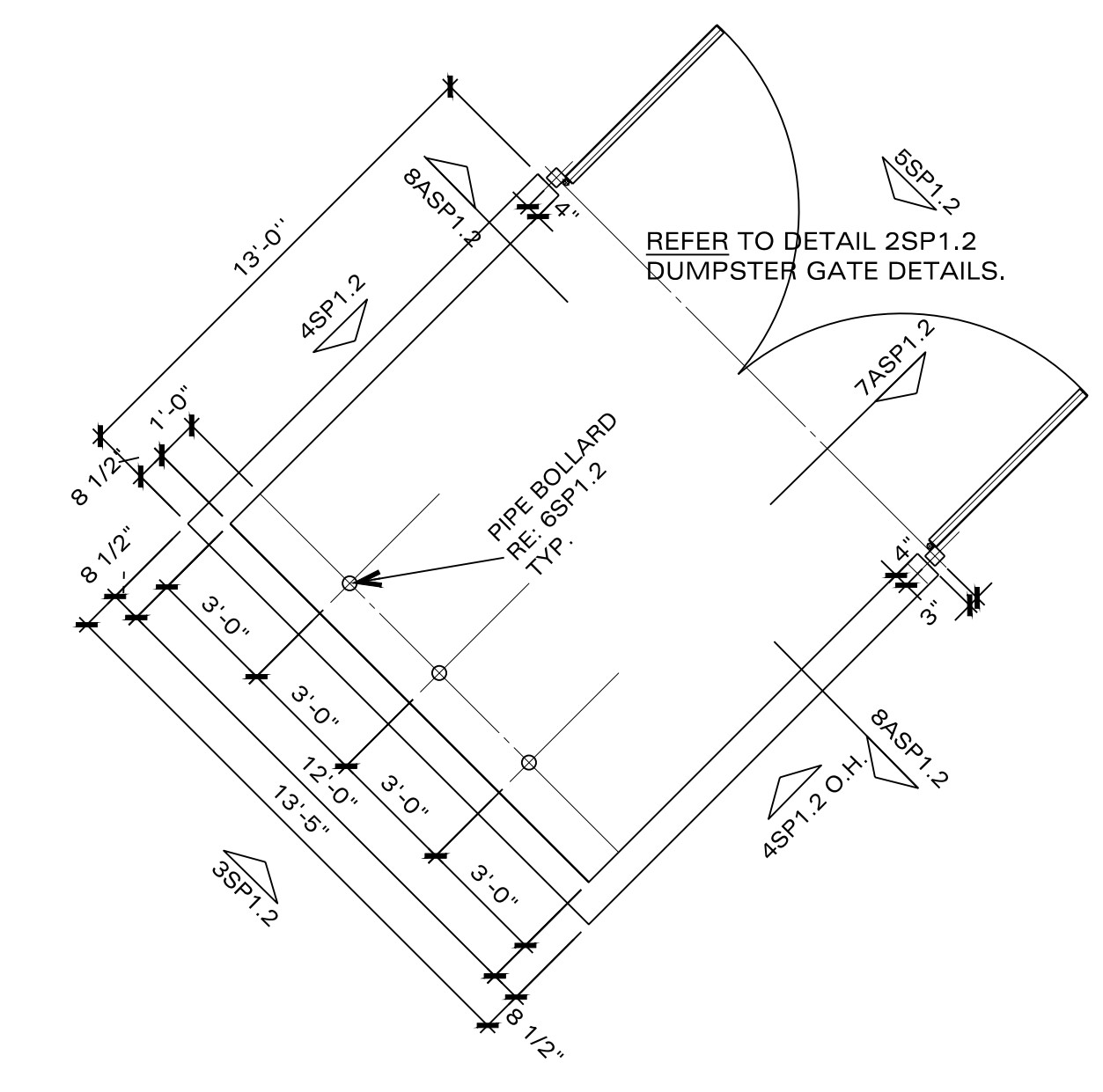
**3 ELEVATION**  
SCALE 1/4"=1'-0"




**2 GATE DETAILS**  
SCALE 3"=1'-0"



**1 PLAN**  
SCALE 1/4"=1'-0"



**INCOMPLETE CONSTRUCTION DOCUMENTS**  
THIS DOCUMENT IS INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION. (TBAE - EFFECTIVE 10-01-2003)  
JAMES R. HARDIN, ARCHITECT TEXAS  
REGISTRATION NO. 11546  
DATE: 11/30/2021



**HYUNDAI**

**CLAY COOLEY HYUNDAI ROCKWALL**  
Showroom & Service Building

PROJECT: AN ADDITION & RENOVATION FOR: CLAY COOLEY HYUNDAI ROCKWALL  
ADDRESS: 1540 Interstate 30 E  
CITY: ROCKWALL STATE: TX ZIP: 75087

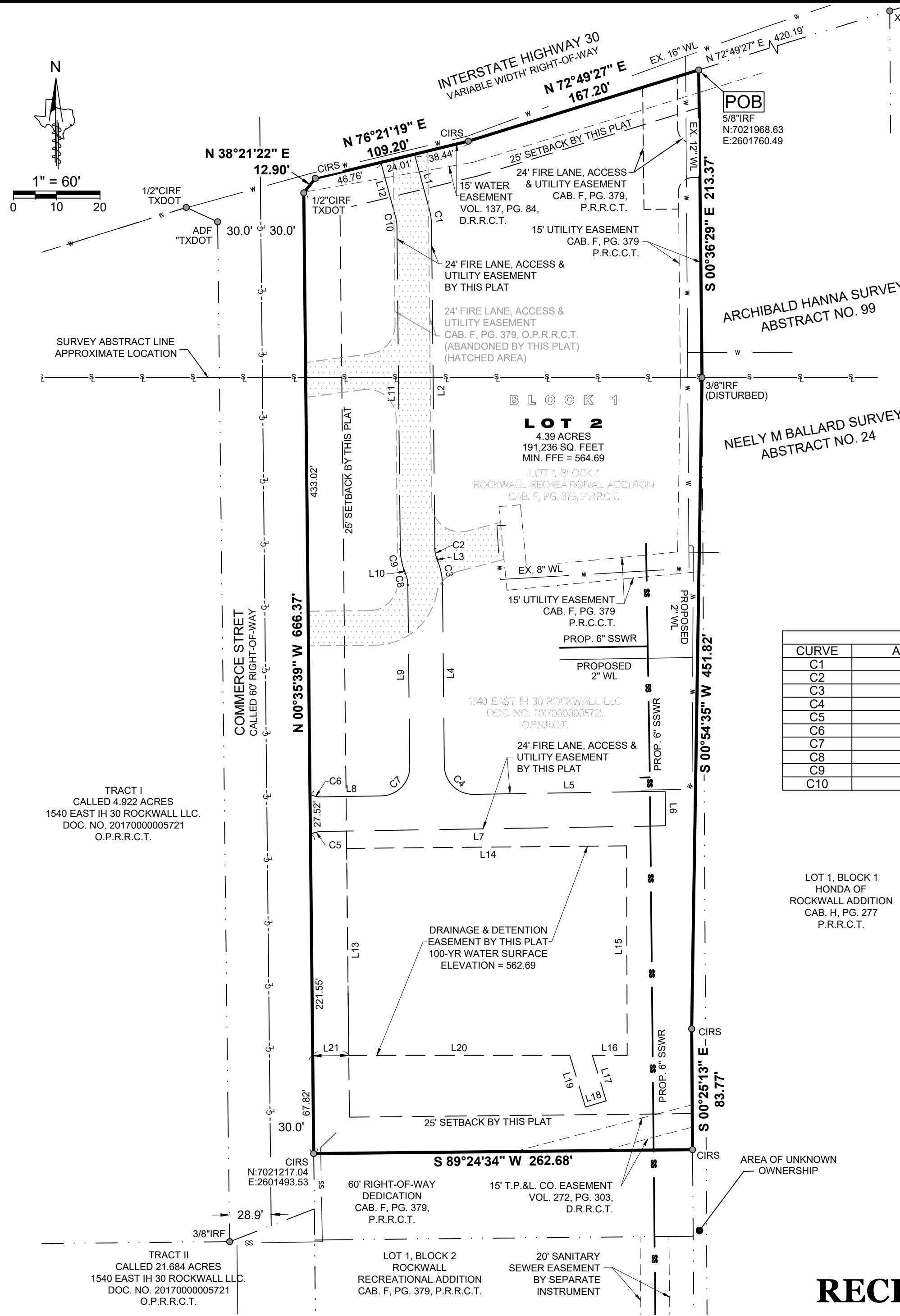
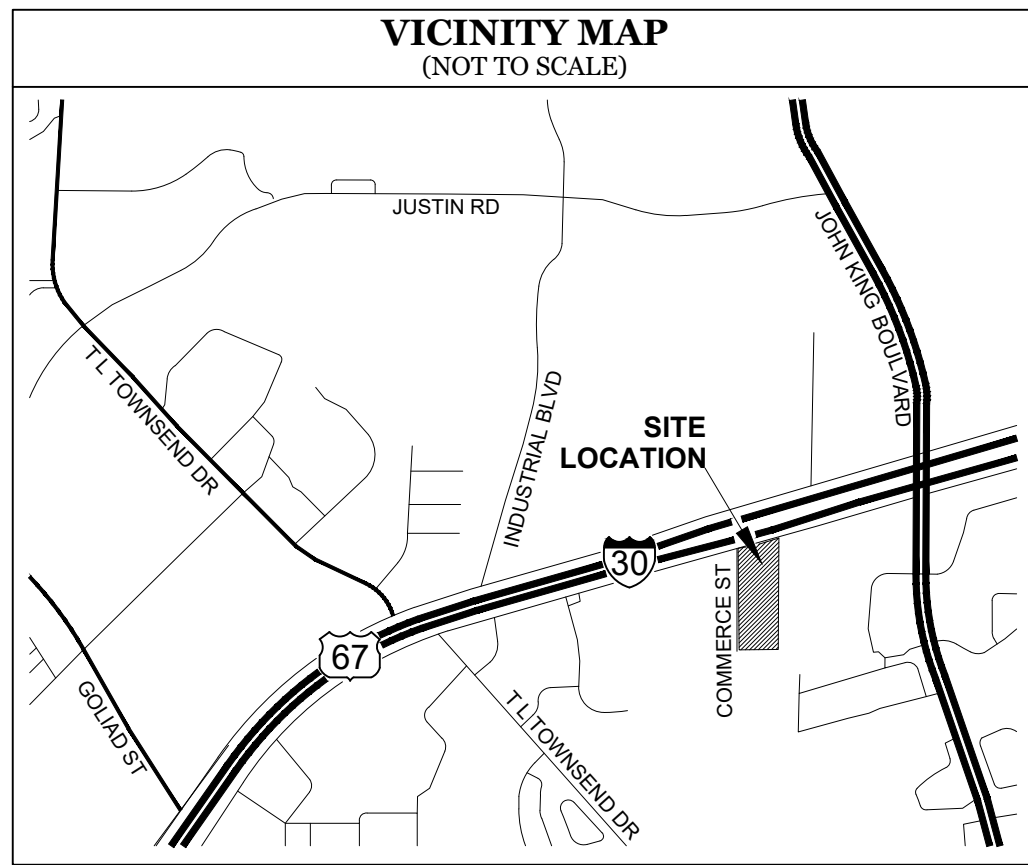
**DUMPSTER SCREEN**

JOB NO. **21034**

DATE	ISSUE FOR	DRAWN BY
11/30/2021	75 % REVIEW	MS, AP

**SP1.2**





LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 15°03'39" W	39.66'
L2	N 00°35'39" W	224.29'
L3	N 19°58'51" W	1.97'
L4	N 00°35'39" W	125.72'
L5	S 89°03'46" W	132.78'
L6	N 00°56'14" W	24.00'
L7	N 89°03'46" E	238.24'
L8	S 89°03'47" W	41.21'
L9	S 00°35'39" E	126.11'
L10	S 19°58'51" E	2.63'
L11	S 00°35'39" E	224.29'
L12	S 15°03'39" E	40.25'
L13	N 00°35'39" W	143.59'
L14	N 89°28'24" E	194.12'
L15	S 00°10'06" E	145.33'
L16	S 89°59'29" W	24.13'
L17	S 16°50'46" E	32.94'
L18	S 73°09'14" W	15.00'
L19	N 16°50'46" W	37.48'
L20	S 89°59'29" W	153.25'
L21	S 89°24'21" W	25.00'

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	11.11'	44.00'	14°28'00"	N 07°49'39" W	11.08'
C2	6.77'	20.00'	19°23'12"	N 10°17'15" W	6.74'
C3	16.92'	44.00'	22°01'42"	N 11°36'30" W	16.81'
C4	31.54'	20.00'	90°20'35"	N 45°45'56" W	28.37'
C5	8.41'	20.00'	24°04'46"	N 77°01'23" E	8.34'
C6	8.51'	20.00'	24°22'18"	N 78°45'04" W	8.44'
C7	31.30'	20.00'	89°39'26"	S 44°14'04" W	28.20'
C8	8.14'	20.00'	23°18'19"	S 12°14'49" E	8.08'
C9	14.89'	44.00'	19°23'12"	S 10°17'15" E	14.82'
C10	5.05'	20.00'	14°28'00"	S 07°49'39" E	5.04'

**GENERAL NOTES**

- The purpose of this plat is to dedicate easements for site development.
- This property is located in **Non-Shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated September 26th, 2008 and is located in Community Number 480547 as shown on Map Number 48397C0045L. The location of the Flood Zone is approximate, no vertical datum was collected at the time of the survey. For the exact Flood Zone designation, please contact 1-(877) FEMA MAP.
- The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011) State Plane Coordinate System (Texas North Central Zone - 4202).
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011).
- Property owner is responsible for repair, replacement, and maintenance off all detention and drainage systems in easements on-site.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

LEGEND	
PG	= PAGE
CAB	= CABINET
POB	= POINT OF BEGINNING
CIRS	= CAPPED IRON ROD SET
CIRF	= CAPPED IRON ROD FOUND
DOC. NO.	= DOCUMENT NUMBER
D.R.R.C.T.	= DEED RECORDS, ROCKWALL COUNTY, TEXAS
P.R.R.C.T.	= PLAT RECORDS, ROCKWALL COUNTY, TEXAS
---	= SUBJECT BOUNDARY
---	= ADJOINER BOUNDARY
W	= WATER LINE
SS	= SANITARY SEWER LINE
---	= EASEMENT

**REPLAT  
LOT 2, BLOCK 1  
ROCKWALL  
RECREATIONAL ADDITION  
4.39 ACRES (191,236 SF)**

BEING A REPLAT OF LOT 1, BLOCK 1  
OF ROCKWALL RECREATIONAL ADDITION,  
RECORDED IN CABINET F, PAGE 379, P.R.R.C.T.,  
SITUATED IN THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99,  
AND THE NEELY M BALLARD SURVEY, ABSTRACT NO. 24  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Project	2110.002	<p><b>EAGLE SURVEYING, LLC</b> 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177</p>
Date	07/27/2022	
Drafter	BE	

<p><b>SURVEYOR</b> Eagle Surveying, LLC 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009</p>	<p><b>ENGINEER</b> Claymoore Engineering, Inc. Contact: Drew Donosky 1903 Central Drive, Suite: 406 Bedford, TX 76021 (817) 281-0572</p>	<p><b>OWNER</b> 1540 East IH 30 Rockwall LLC PO BOX 570809 Dallas, TX 75357</p>
---	--	---



**OWNER'S CERTIFICATE & DEDICATION**

STATE OF TEXAS §  
 COUNTY OF ROCKWALL §

**WHEREAS 1540 EAST IH 30 ROCKWALL LLC** is the sole owner of a 4.39 acre tract of land situated in the ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99 and the NEELY M BALLARD SURVEY, ABSTRACT NO. 24, in the City of Rockwall, Rockwall County, Texas, and being a portion of Lot 1, Block 1 of Rockwall Recreational Addition, a subdivision of record in Cabinet F, Page 379, of the Plat Records of Rockwall County, Texas, conveyed to 1540 East IH 30 Rockwall LLC by Special Warranty Deed With Vendor's Lien recorded in Document Number 2017000005721, of the Official Public Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

**BEGINNING**, at a 5/8" iron rod found in the south right-of-way line of Interstate Highway 30 (a variable width right-of-way), at the northwest corner of Lot 1, Block 1, Honda of Rockwall Addition, a subdivision of record in Cabinet H, Page 277, of said Plat Records, and the northeast corner of said Lot 1, Block 1, Rockwall Recreational Center, from which an x-cut found at the northeast corner of said Lot 1, Block 1, Honda of Rockwall Addition bears N72°49'27"E, a distance of 420.19 feet;

**THENCE**, along the east line of said Lot 1, Block 1, Rockwall Recreational Center, the following three (3) courses and distances:

- S00°36'29"E, a distance of 213.37 feet to a 3/8" iron rod found (disturbed);
- S00°54'35"W, a distance of 451.82 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- S00°25'13"E, a distance of 83.77 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the northeast corner of a 60' right-of-way dedication (unimproved) and the southeast corner of said Lot 1, Block 1, Rockwall Recreational Center;

**THENCE**, S89°24'34"W, along the north line of said 60' right-of-way dedication, being the common south line of said Lot 1, Block 1, Rockwall Recreational Center, a distance of 262.68 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the east right-of-way line of said Commerce Street (a called 60' right-of-way), at the northwest corner of said 60' right-of-way dedication and the southwest corner of said Lot 1, Block 1, Rockwall Recreational Center;

**THENCE**, N00°35'39"W, along the east right-of-way line of said Commerce Street, being the common west line of said Lot 1, Block 1, Rockwall Recreational Center, a distance of 666.37 feet to a 1/2" inch iron rod with plastic cap stamped "TXDOT" found in the south right-of-way line of said Interstate Highway 30, at the southwest corner of a called 0.0092 acre tract of land conveyed to the State of Texas by Deed of record in Document Number 2010-00429943, of said Official Public Records;

**THENCE**, along the south right-of-way line of said Interstate Highway 30, the following three (3) courses and distances:

- N38°21'22"E, a distance of 12.90 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- N76°21'19"E, a distance of 109.20 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- N72°49'27"E, a distance of 167.20 feet to the **POINT OF BEGINNING** and containing an area of 4.39 Acres, or (191,236 Square Feet) of land, more or less.

**NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:**

THAT, **1540 EAST IH 30 ROCKWALL LLC**, the undersigned owner of the land shown on this plat, and designated herein as **ROCKWALL RECREATIONAL ADDITION**, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **ROCKWALL RECREATIONAL ADDITION**, subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

OWNER: 1540 EAST IH 30 ROCKWALL LLC

BY: \_\_\_\_\_  
 Signature Date

BY: \_\_\_\_\_  
 Printed Name & Title

STATE OF TEXAS §  
 COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, \_\_\_\_\_ of 1540 EAST IH 30 ROCKWALL LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
 Notary Public in and for the State of Texas

**CERTIFICATE OF SURVEYOR**

**NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:**

THAT I, **MATTHEW RAABE**, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

**PRELIMINARY**  
 this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

\_\_\_\_\_  
 Matthew Raabe Date  
 Registered Professional Land Surveyor #6402

**CERTIFICATE OF APPROVAL**

\_\_\_\_\_  
 Chairman Date  
 Planning & Zoning Commission

**APPROVED:**

I hereby certify that the above and foregoing plat of **ROCKWALL RECREATIONAL ADDITION**, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, Texas, within one hundred eighty (180) days from the said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
 Mayor, City of Rockwall City Secretary, City of Rockwall

\_\_\_\_\_  
 City Engineer

**REPLAT  
 LOT 2, BLOCK 1  
 ROCKWALL  
 RECREATIONAL ADDITION  
 4.39 ACRES (191,236 SF)**

BEING A REPLAT OF LOT 1, BLOCK 1  
 OF ROCKWALL RECREATIONAL ADDITION,  
 RECORDED IN CABINET F, PAGE 379, P.R.R.C.T.,  
 SITUATED IN THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99,  
 AND THE NEELY M BALLARD SURVEY, ABSTRACT NO. 24  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Project	2110.002	 <b>EAGLE SURVEYING, LLC</b> 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	07/27/2022	
Drafter	BE	

**SURVEYOR**  
 Eagle Surveying, LLC  
 222 S. Elm Street, Suite: 200  
 Denton, TX 76201  
 (940) 222-3009

**ENGINEER**  
 Claymoore Engineering, Inc.  
 Contact: Drew Donosky  
 1903 Central Drive, Suite: 406  
 Bedford, TX 76021  
 (817) 281-0572

**OWNER**  
 1540 East IH 30 Rockwall LLC  
 PO BOX 570809  
 Dallas, TX 75357

July 20, 2023

Bethany Ross  
Planner  
City of Rockwall - Planning & Zoning  
972.772.6488 Office  
[bross@rockwall.com](mailto:bross@rockwall.com)  
[City of Rockwall - Planning & Zoning](#)

Dear Bethany,

Thank you for meeting with us today. I appreciate your working with us to improve our project. This letter is to review the changes and confirm our intentions to revise and re-submit them tomorrow.

- 1) **Cementitious Materials:** We have revised the exterior finishes to reduce the stucco on front elevation below 50% of the proposed Automotive Repair Garage and Car Wash and included thin brick accents and manufactured stone below.
- 2) **Stone:** We have revised the exterior finishes to include manufactured stone on the first four (4) feet of grade on the proposed Automotive Repair Garage and Car Wash building's façade.
- 3) **Four-Sided Architecture:** As we discussed in the meeting, it is difficult to design small buildings such as the proposed Automotive Repair Garage and Car Wash with the correct articulation. However, to improve the architectural appeal and more closely follow the development code, we have revised our plans and included your suggestions with architectural finishes on all four (4) sides utilizing the same materials, design, and similar exterior elevations.
- 4) **Screening:** We have revised the site design to gain planting space for canopy trees, accent trees deciduous shrubs which will provide three-tiered screening of the garage bay doors facing Commerce Street. As we discussed, Commerce Street is not a thru street and not heavily traveled by the public.
- 5) **Car Wash:** we have moved the car wash approximately 10 feet west to provide better access.
- 6) **Outside Storage:** We are agreeable to relocating a minimum of 10 accent trees or more from the detention pond area to the 8' tall masonry screen wall on east side of the property as you suggested. This is subject to approval by the City of Rockwall Engineering department and Oncor as there are overhead power lines in this area and thus the reason there are no canopy trees.
- 7) **Compensatory Measures:**
  - a. Added projections in the front elevation both horizontality and vertically
  - b. Revised and varied roof heights.
  - c. Added an architectural metal canopy on the front elevation.
  - d. Added Articulated cornice at the top of the parapet wall.
  - e. Added Accent stone detail separating stucco from stone finish.
  - f. Included Parapet walls on all 4 elevations to provide additional screening of the roof.
  - g. We have increased the shrub size in the 3-tiered screening to 7 gallons and increased the size of all canopy trees to 5" and accent trees to a minimum of 6' to 8' to provide more mature screening immediately upon planting.

Please contact me if you have any questions or concerns about this project.

Thank you,



Zack Amick  
The Charles Morgan Group, LP.  
[za@tmgconst.com](mailto:za@tmgconst.com)  
214-507-9831



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING *ORDINANCE NO. 22-02 [S-266]* AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS, A MAJOR AUTO REPAIR GARAGE, AND OUTSIDE STORAGE* ON A 7.17-ACRE PARCEL OF LAND IDENTIFIED AS LOT 2, BLOCK 1, ROCKWALL RECREATIONAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) superseding *Ordinance No. 22-02 [S-266]* and allowing the expansion of an existing *New Motor Vehicle Dealership for Cars and Light Trucks (i.e. Clay Cooley Hyundai)* being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that *Ordinance No. 22-02 [S-266]* the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 22-02*.

**SECTION 2.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *New Motor Vehicle Dealership for Cars and Light Trucks, Major Auto*

*Repair Garage, and Outside Storage* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 3.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 05.01, *General Industrial District Standards*, and Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

### 3.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *New Motor Vehicle Dealership for Cars and Light Trucks* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
- (2) The development or redevelopment of the *Subject Property* shall generally conform to the Landscape Plan depicted in *Exhibit 'C'* of this ordinance.
- (3) The development or redevelopment of the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'D'* of this ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) and approval by the Planning and Zoning Commission through the site plan review process.
- (4) No vehicle display areas shall be permitted within the required landscape buffers along IH-30 and Commerce Street.
- (5) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored on an unimproved surface.
- (6) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored within the Commerce Street Right-of-Way (*i.e. Commerce Street is for public parking only*).

The following conditions pertain to the operation of a *Major Auto Repair Garage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The outside storage of tires or any other automotive parts shall be prohibited.
- (2) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.

The following conditions pertain to the operation of *Outside Storage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) Outside storage shall be screened by an eight (8) foot masonry wall as depicted in *Exhibit 'B'* of this ordinance.



### 3.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)* and/or building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 7.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 8.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 21<sup>ST</sup> DAY OF AUGUST, 2023.**

\_\_\_\_\_  
Trace Johannesen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

---

Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 7, 2023

2<sup>nd</sup> Reading: August 21, 2023

DRAFT  
ORDINANCE  
07.25.2023



**Exhibit 'A'**  
**Zoning Exhibit**

Address: 1540 E. IH-30

Legal Description: Lot 2, Block 1, Rockwall Recreational Addition

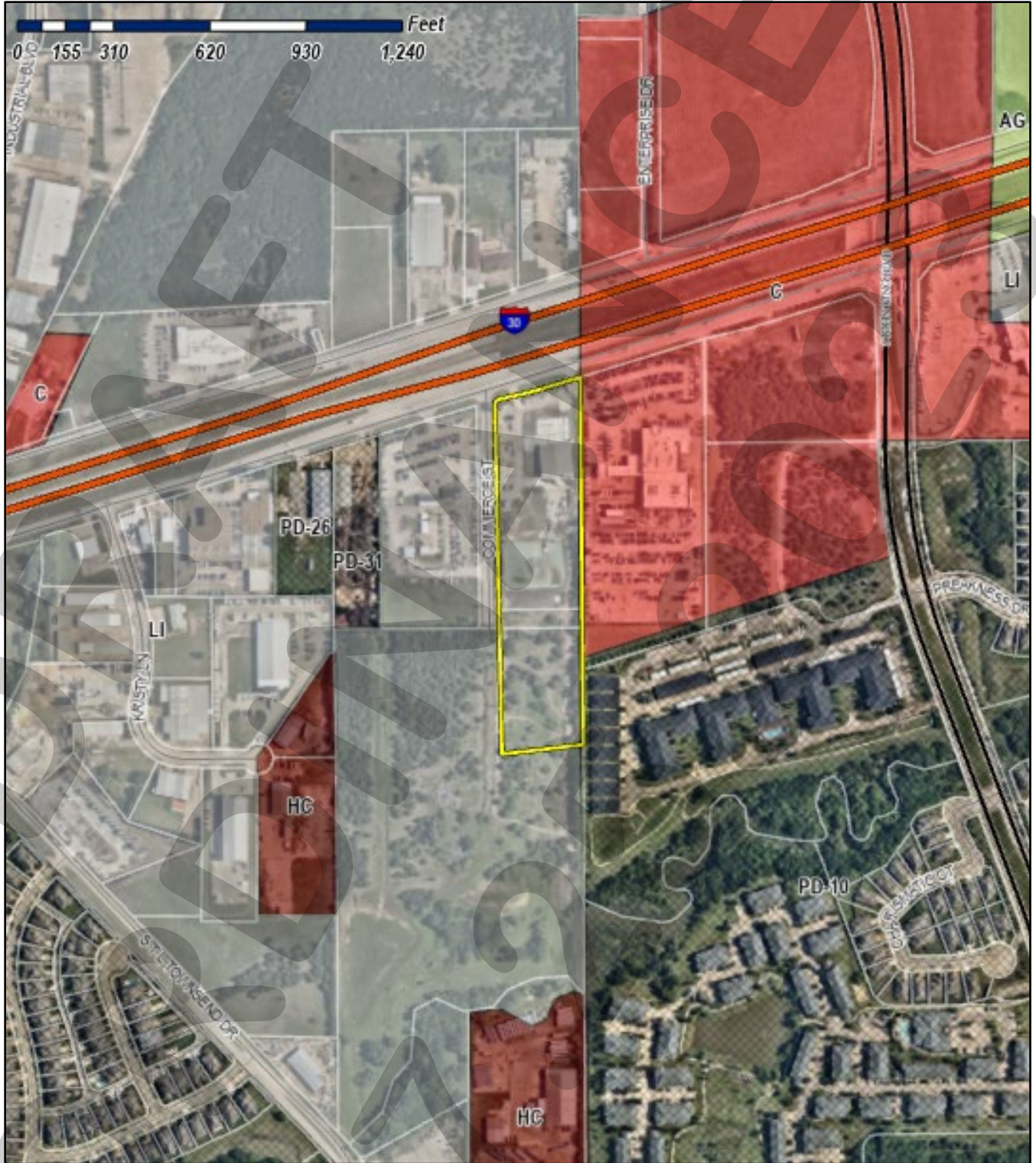
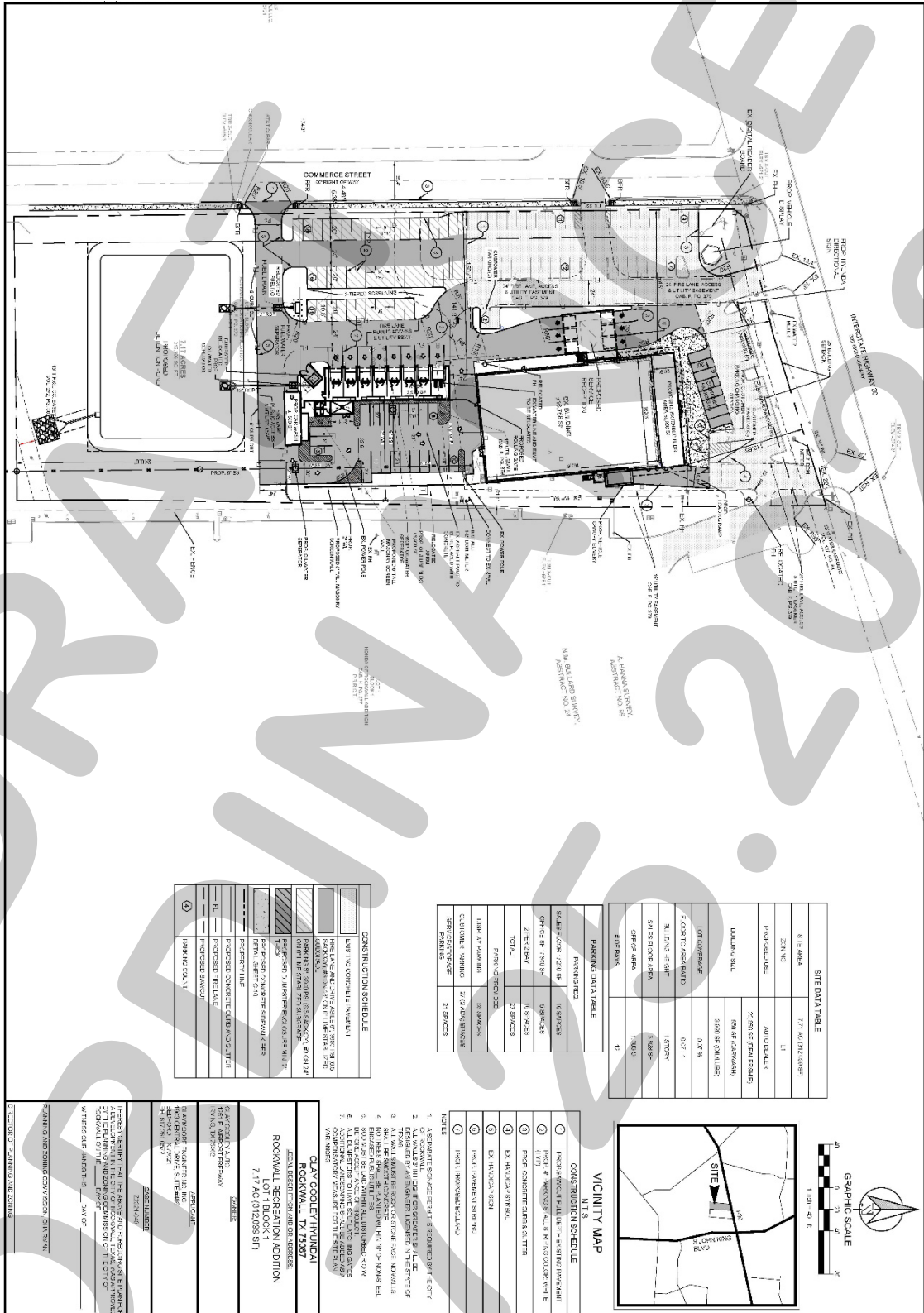


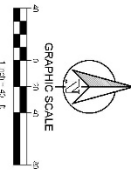
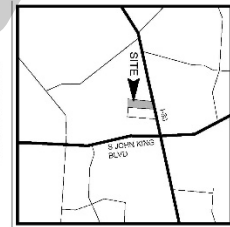
Exhibit 'B'  
Concept Plan



CONSTRUCTION SCHEDULE
1. EXISTING CONSTRUCTION
2. NEW CONSTRUCTION
3. EXISTING CONSTRUCTION TO REMAIN
4. EXISTING CONSTRUCTION TO BE DEMOLISHED
5. EXISTING CONSTRUCTION TO BE REFINISHED
6. EXISTING CONSTRUCTION TO BE REPAIRED
7. EXISTING CONSTRUCTION TO BE REPLACED
8. EXISTING CONSTRUCTION TO BE RECONSTRUCTED
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PARKING DATA TABLE	
PROVIDED	10 SPACES
REQUIRED	10 SPACES
TOTAL	20 SPACES
CONSTRUCTION	2 SPACES
OPERATIONAL	18 SPACES

SITE DATA TABLE	
6.18 ACRES	1.7 AC (28.2%)
224' WIDE	111'
PROVIDED	10 SPACES
REQUIRED	10 SPACES
TOTAL	20 SPACES
CONSTRUCTION	2 SPACES
OPERATIONAL	18 SPACES



CONSTRUCTION SCHEDULE	
1. EXISTING CONSTRUCTION	10 SPACES
2. NEW CONSTRUCTION	10 SPACES
3. EXISTING CONSTRUCTION TO REMAIN	10 SPACES
4. EXISTING CONSTRUCTION TO BE DEMOLISHED	10 SPACES
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1. A SEPARATE SCHEDULE SHALL BE SUBMITTED FOR EACH OF THE AREAS IDENTIFIED IN THE SCHEDULE.

2. THE SCHEDULE SHALL BE SUBMITTED WITH THE CONSTRUCTION SCHEDULE.

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20. THE SCHEDULE SHALL BE SUBMITTED WITH THE CONSTRUCTION SCHEDULE.

CLAY COOLEY HYUNDAI  
10000 ROCKWALL ROAD, SUITE 100  
ROCKWALL, TEXAS 75087  
714.982.1200

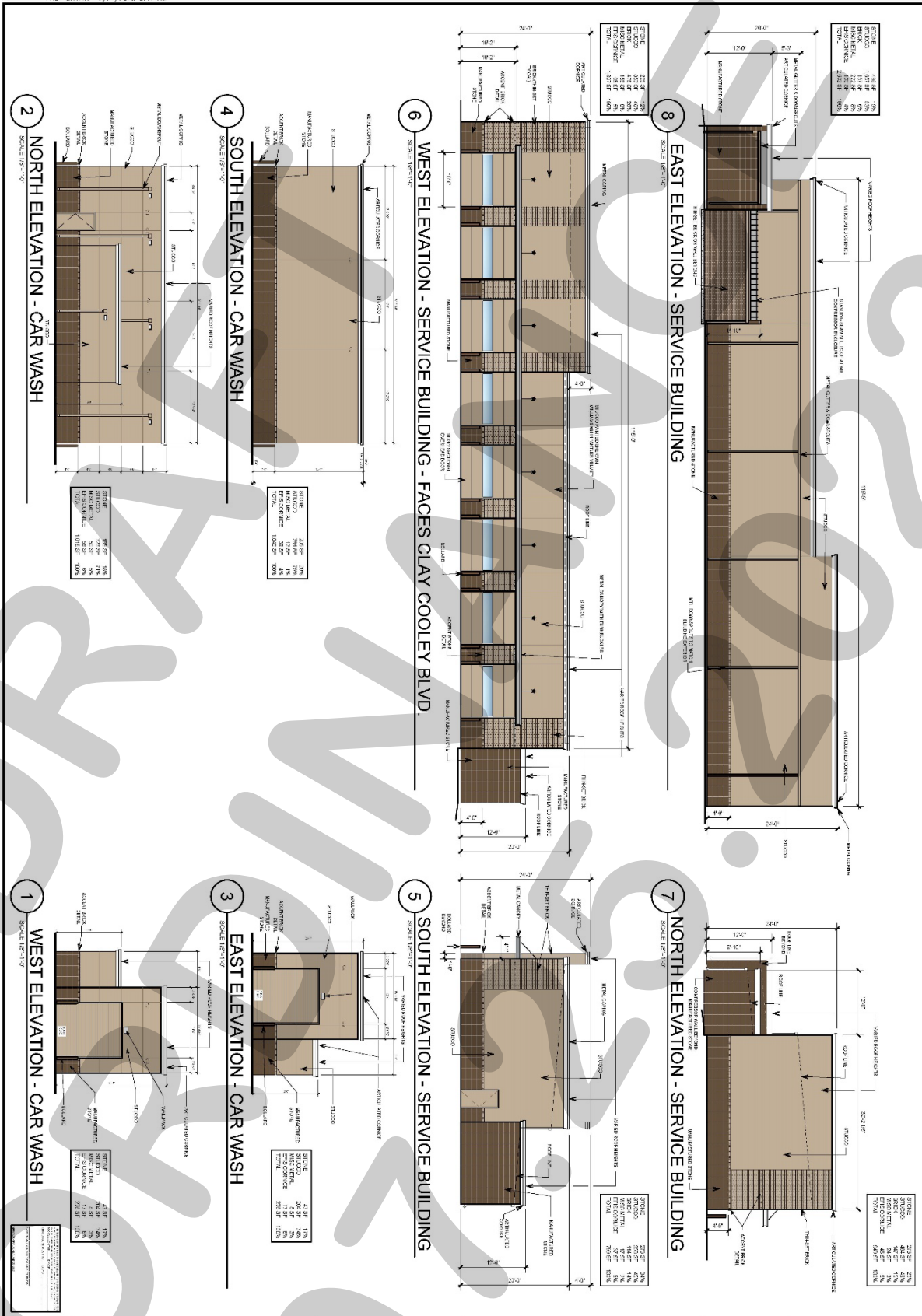








**Exhibit 'D':  
Building Elevations**





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**FROM:** Henry Lee, *Senior Planner*

**DATE:** July 25, 2023

**SUBJECT:** MIS2023-009; *Exception to the Fence Material Requirements at 607 St. Mary Street*

---

The applicant, Blair Selden, is requesting the approval of an exception to the fence material requirements for a fence constructed without a permit within a Commercial (C) District. The subject property is located on a 0.47-acre tract of land (*i.e. a portion of Lots 4-7 and Lots 10-13, Block 1 & 2, Mill Co. Addition*) addressed as 607 St. Mary Street. The applicant's *Site Plan* depicts the location of the unpermitted wood fence; in addition, the applicant provided a photo requesting approval of an opaque metal gate. Staff should note that this case was referred to staff by the Neighborhood Improvement Services (NIS) Division of the City of Rockwall from a active Code Enforcement case [Case No. CE2023-2302] after an external complaint was filed. This prompted the applicant to submit for an exception from the Planning and Zoning Commission in accordance with Subsection 01.02, *Submission of an Application*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).



**FIGURE 1:** UNPERMITTED WOOD FENCE ON THE SUBJECT PROPERTY.

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a fence is defined as “(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure.” In addition, Subsection 08.04, *Non-Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states that in a Commercial (C) District, “...wood and vinyl coated chain-link fences shall be prohibited.” This section also states that opaque metal fences are prohibited. In this case, the applicant constructed a wood fence without a building permit on the subject property, which is located within a Commercial (C) District. Given this, the applicant is requesting approval of an exception to allow the wood fence to remain. In addition, the applicant is requesting the approval of an opaque metal gate that does not meet the fence material requirements. All that being said, the Planning and Zoning Commission may consider alternative



materials that are permitted by Subsection 8.02, of Article 08, of the UDC, and/or alternative fence standards on a case-by-case basis.

Staff should note that in addition to the Neighborhood Improvement Services (NIS) case for the fence, the Neighborhood Improvement Services (NIS) Division also has an active case on the subject property for *Outside Storage* [Case No. CE2023-2156]. *Outside Storage* is not permitted within a Commercial (C) District and is required to be removed. Staff was informed of the *Outside Storage* zoning code violation by a resident, which was otherwise screened by the illegal fence. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff will be available at the meeting on July 25, 2023.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 607 St Mary

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_ CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_ LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z, THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	_____	<input type="checkbox"/> APPLICANT	<u>Blair Selden</u>
CONTACT PERSON	<u>Blair Selden</u>	CONTACT PERSON	<u>Blair Selden</u>
ADDRESS	_____	ADDRESS	<u>PO Box 1165</u>
CITY, STATE & ZIP	_____	CITY, STATE & ZIP	<u>Rock City</u>
PHONE	_____	PHONE	<u>469 314 0663</u>
E-MAIL	_____	E-MAIL	<u>RGCOH@yahoo.com</u>

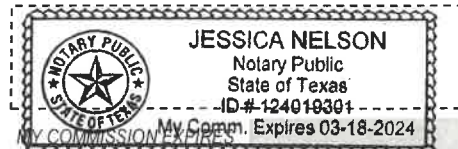
## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Robert Stark [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

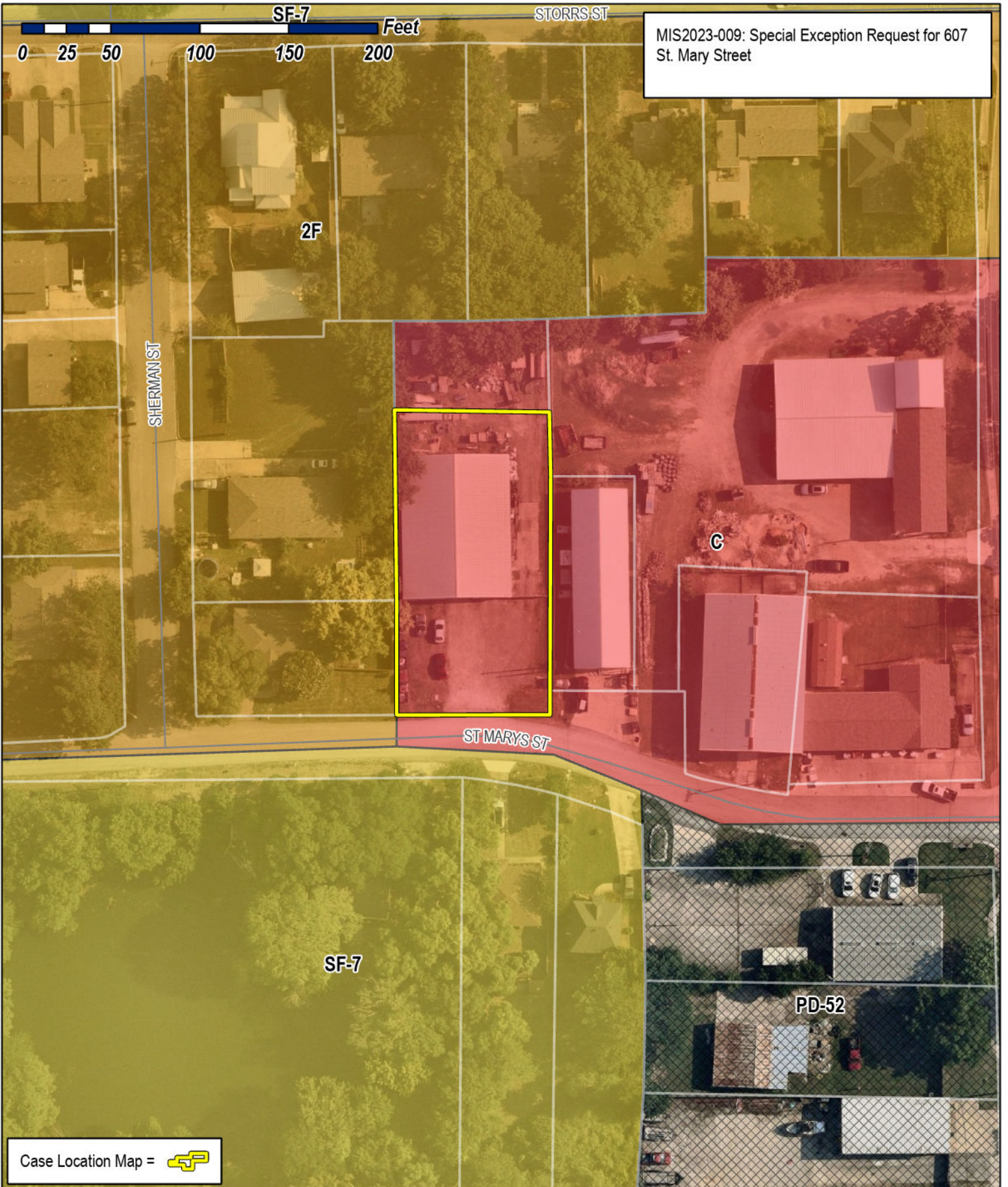
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 6th DAY OF June, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6 DAY OF June, 2023  
OWNER'S SIGNATURE \_\_\_\_\_

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jessica Nelson







MIS2023-009: Special Exception Request for 607 St. Mary Street

Case Location Map = 

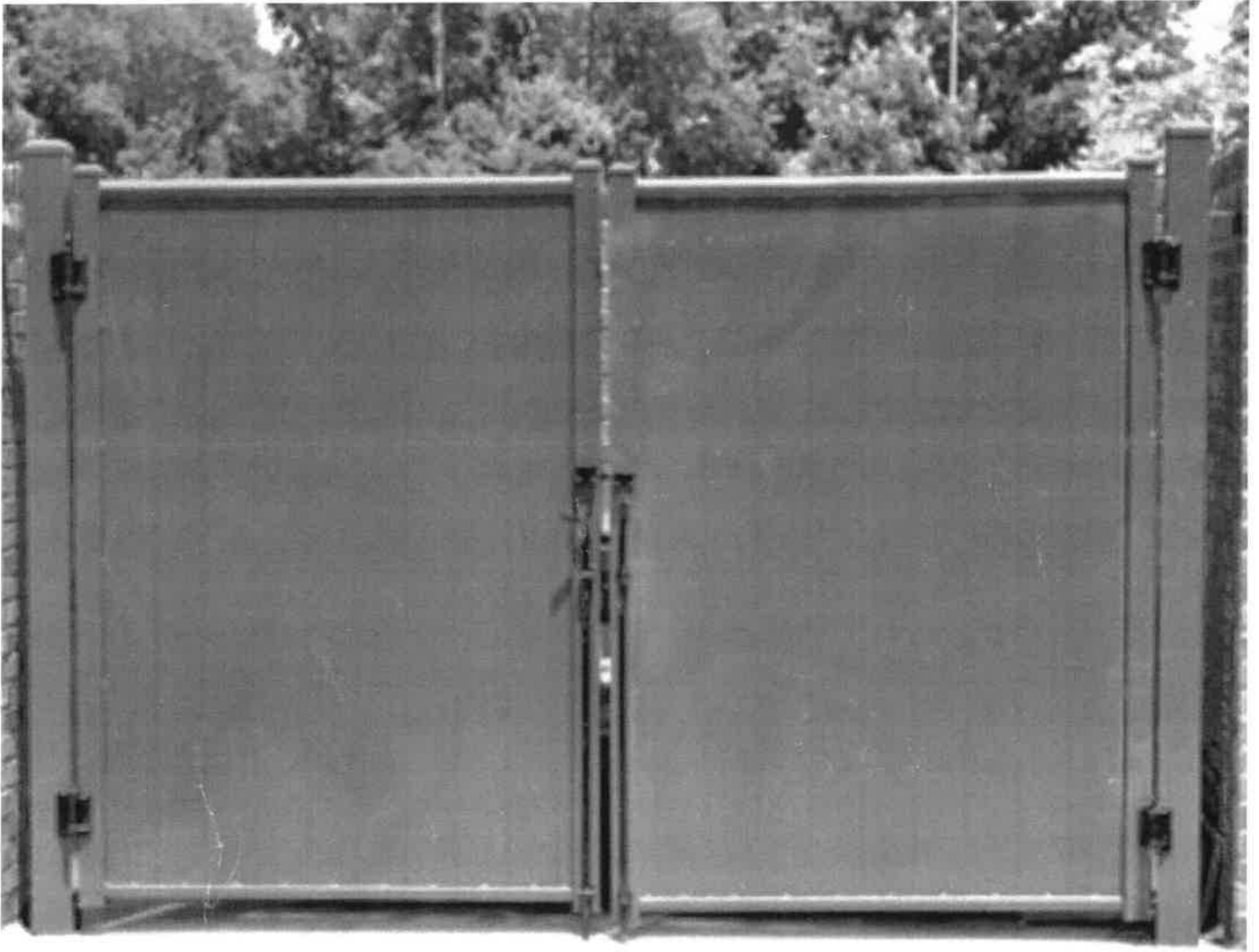


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Sent from Yahoo Mail for iPhone







# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Planning and Zoning Commission

**DATE:** July 25, 2023

**APPLICANT:** Frank Polma; *R-Delta Engineers, Inc.*

**CASE NUMBER:** SP2023-023; *Amended Site Plan for Rayburn Country Electric Cooperative*

---

On November 15, 2022, the Planning and Zoning Commission approved a Site Plan [Case No. SP2022-058] to allow the construction of three (3) new non-residential buildings as part of Rayburn Country Electric Cooperative's expansion of their industrial campus. As part of the Site Plan case, the Planning and Zoning Commission approved exceptions based on the Architectural Review Board's (ARB's) recommendations and the applicant's proposed compensatory measures. One (1) of the compensatory measures identified by the applicant was "...increased architectural elements on *Buildings D & E.*" Following the approval of the Site Plan, on April 18, 2023, staff received an application for a *Commercial Building Permit* [Permit No. COM2023-1571] for *Building D* on the subject property. Based on the building elevations provided in the building permit, the applicant had made changes to *Building D's* façade. More specifically, the applicant removed an architectural element, or a clerestory, from *Building D*. Given that the architectural element was approved as a compensatory measure for the Site Plan and was subsequently removed, this required the applicant to submit an application for an *Amended Site Plan*.

Based on the provided building elevations, the only change to the building elevations is the removal of the clerestory. As stated previously, this architectural element was provided as a compensatory measure to offset the exceptions that were requested with the original Site Plan. As a reminder to the Planning and Zoning Commission, the original site plan included seven (7) exceptions; however, only one (1) of these exceptions related to buildings' design (*i.e. wall length exceed maximum length without articulation*). Despite the removed architectural element, the proposed building elevations do not change the conformance of the building to the Unified Development Code (UDC). With this being said, this is a discretionary decision for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the July 25, 2023 Planning and Zoning Commission meeting.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **950 Sids Road, Rockwall, Texas**

SUBDIVISION **Rayburn Country Addition**

LOT

BLOCK

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **AG, C and HC**

CURRENT USE **Rayburn Electric's Headquarters**

PROPOSED ZONING **AG, C and HC**

PROPOSED USE **Rayburn Electric's Headquarters**

ACREAGE **84.796**

LOTS [CURRENT] **Four (4)**

LOTS [PROPOSED] **Three (3)**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Rayburn Country Electric Coop.**

APPLICANT **R-Delta Engineers, Inc.**

CONTACT PERSON **Stephen Geiger**

CONTACT PERSON **Frank A. Polma, P.E.**

ADDRESS **950 Sids Road**

ADDRESS **618 Main Street**

CITY, STATE & ZIP **Rockwall, Texas, 75087**

CITY, STATE & ZIP **Garland, Texas, 75040**

PHONE **(469) 402-2112**

PHONE **(972) 494-5031**

E-MAIL **sgeiger@rayburnelectric.com**

E-MAIL **fapolma@rdelta.com**

## NOTARY VERIFICATION [REQUIRED]

**Stephen Geiger**

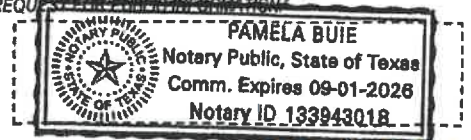
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF July, 2023

OWNER'S SIGNATURE

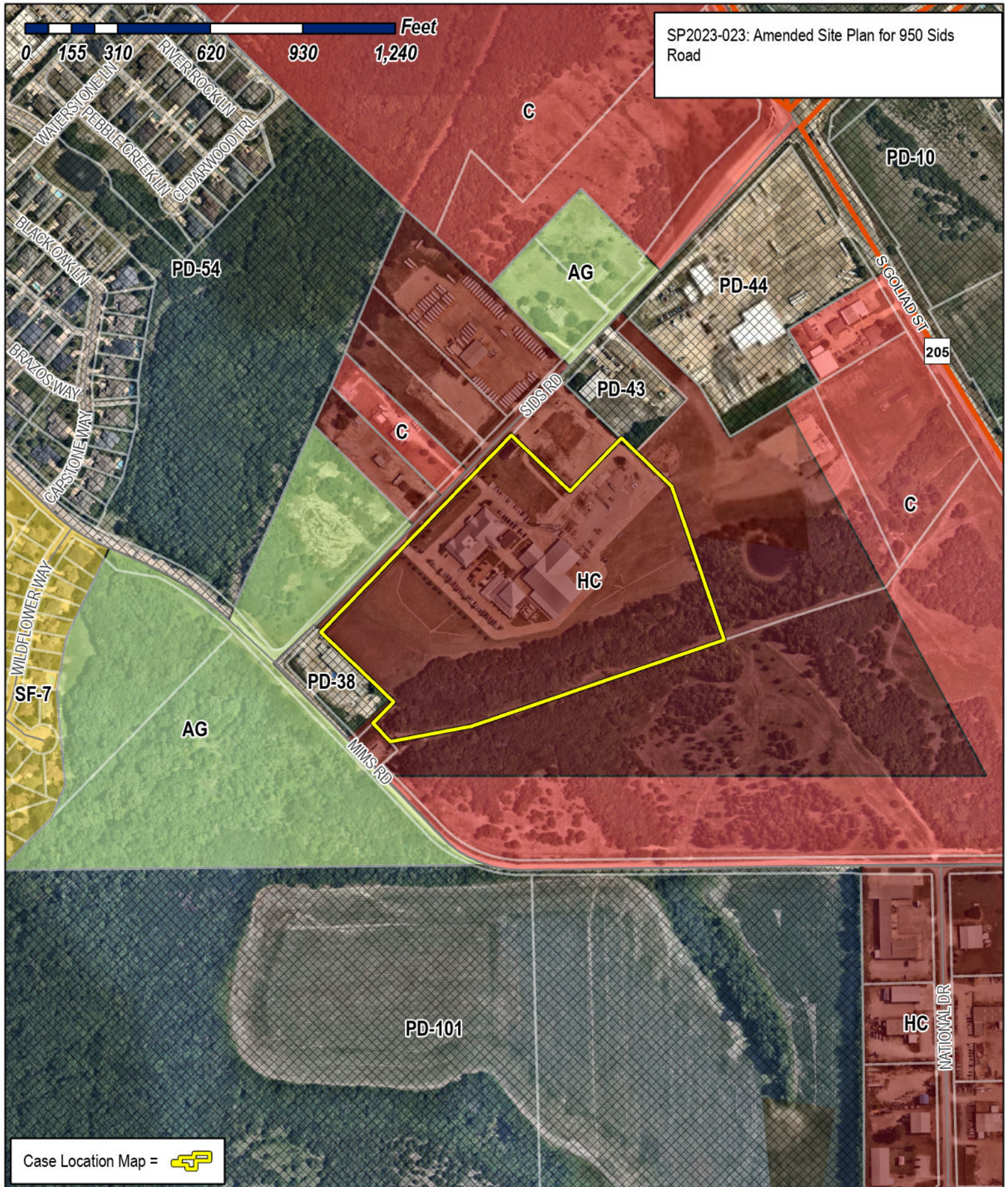
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS




MY COMMISSION EXPIRES

9-1-2026





SP2023-023: Amended Site Plan for 950 Sids Road

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 7/21/2023

PROJECT NUMBER: Z2023-033  
PROJECT NAME: SUP for Residential Infill at 803 Dalton Road  
SITE ADDRESS/LOCATIONS: 803 DALTON RD

CASE CAPTION: Hold a public hearing to discuss and consider a request by Dennis and Melissa Cain for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of allowing the construction of a single-family home on a 12.00-acre tract of land identified as Tracts 8-01 & 8-02 of the W. T. DeWeese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 803 Dalton Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	07/20/2023	Approved w/ Comments

07/20/2023: Z2023-033; Specific Use Permit (SUP) for Residential Infill for 803 Dalton Road  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of allowing the construction of a single-family home on a 12.00-acre tract of land identified as Tracts 8-01 & 8-02 of the W. T. DeWeese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and addressed as 803 Dalton Road.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (Z2023-033) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is adjacent to the Shores North Subdivision, which is 100% developed, consists of 70 lots, and has been in existence since January 30, 2022.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is located on the side of the home and is in conformance with the zoning requirements.

M.7 Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that properties in an Agricultural (AG) District should have a minimum front setback of 40-feet, a minimum rear setback of 10-feet, and a minimum side setback of 6-feet. In this case, the proposed home meets the setback requirements for a home in this zoning district.



M.8 According to Subsection 03.01(A), General Residential District Standards of Article 05, District Development Standards, all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is requesting a five (5) 1:12 roof pitches on the rear elevations that will need to be corrected.

M.9 Please review the attached Draft Ordinance prior to the July 25, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than August 8, 2023.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 8, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 15, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 25, 2023.

I.11 The projected City Council meeting dates for this case will be August 21, 2023 [1st Reading] and September 5, 2023 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jonathan Browning	07/19/2023	Approved w/ Comments
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/21/2023	Approved
No Comments			

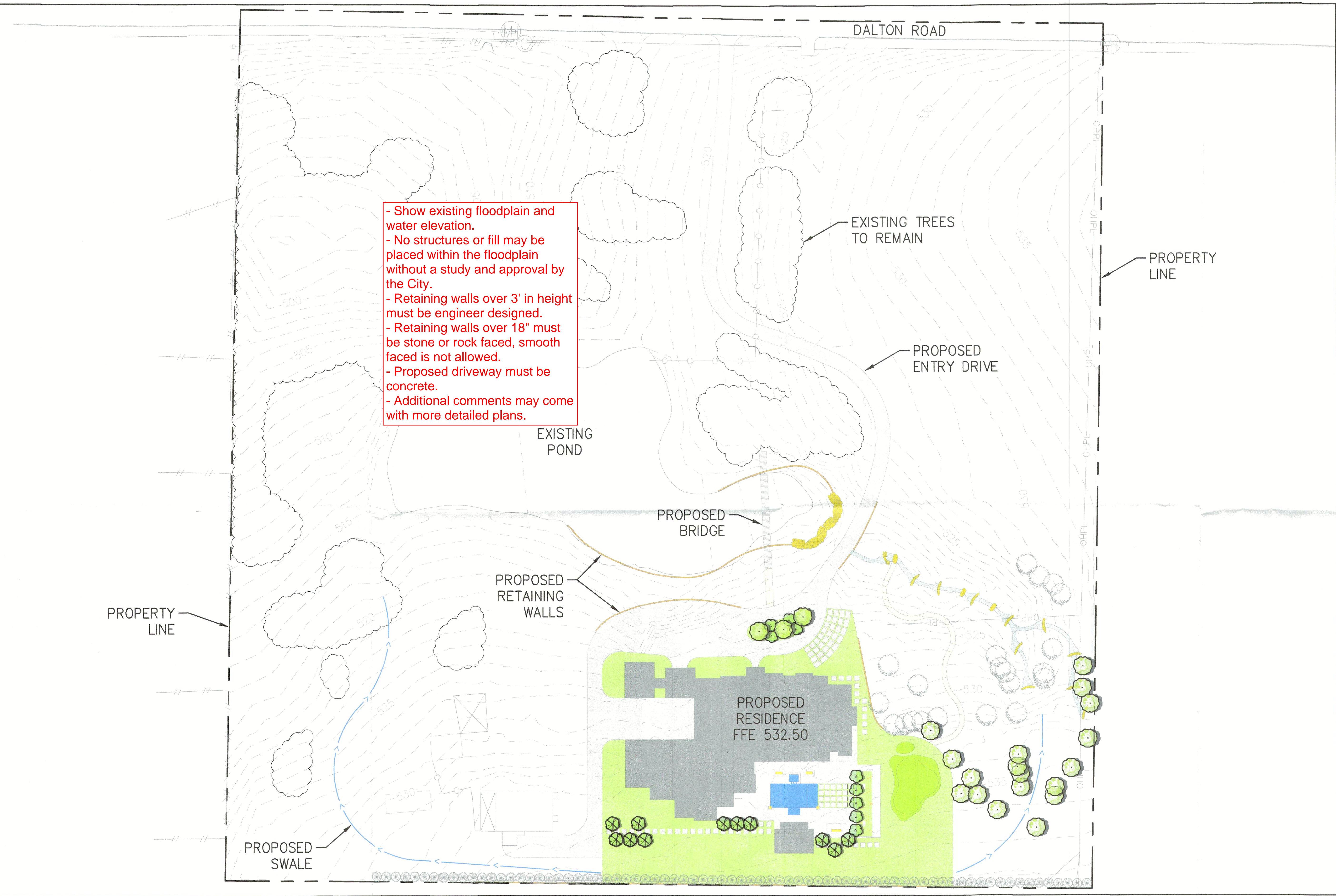
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/20/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/17/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Angelica Guevara	07/21/2023	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/19/2023	Approved
No Comments			

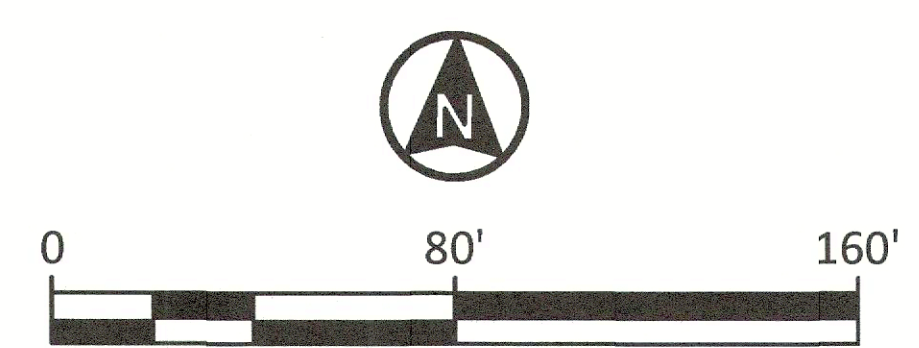




- Show existing floodplain and water elevation.  
 - No structures or fill may be placed within the floodplain without a study and approval by the City.  
 - Retaining walls over 3' in height must be engineer designed.  
 - Retaining walls over 18" must be stone or rock faced, smooth faced is not allowed.  
 - Proposed driveway must be concrete.  
 - Additional comments may come with more detailed plans.

**LEGEND**

	RESIDENCE
	CONCRETE/STONE PATIO
	POOL/HOT TUB
	FIRE PIT
	PUTTING GREEN
	SYNTHETIC TURF
	STREAM
	STREAM BOULDERS
	RETAINING WALL
	NATURE TRAIL
	SWALE/DRAINAGE



6/22/2023

**PLANNING AND LANDSCAPE ARCHITECTURE**  
 KENNY KOWIS, PLA | KENNY.KOWIS@STRANDAE.COM | 972.620.8204

This exhibit is an illustrative representation for presentation purposes only and should not be used for computation or construction purposes. The information provided within should be considered a graphic representation to aid in determining plan components and relationships and is subject to change without notice. All property boundaries, easements, road alignments, drainage, floodplains, environmental issues and other information shown is approximate and should not be relied upon for any purpose. No warranties, express or implied, concerning the actual design, accuracy, location, and character of the facilities shown on this exhibit are intended.  
 ©2023 STRAND, ALL RIGHTS RESERVED

**STRAND**  
 10003 TECHNOLOGY BLVD WEST | DALLAS TEXAS 75220 | 972 620 8204

I:\cain residence - rockwall (2313976)\6.0\_dd\6.1\_cad\2313976\_concept\_plan.dwg, kenny.kowis, 6/22/2023 9:55 AM

# CAIN RESIDENCE

## CONCEPTUAL DESIGN DEVELOPMENT

### OVERALL LAYOUT





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
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- AMENDING OR MINOR PLAT (\$150.00)
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**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
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**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS	803 Dalton RD Rockwall TX		
SUBDIVISION	A0071 W T DEWEESE	LOT	Tract 8-01 BLOCK
GENERAL LOCATION	803 Dalton RD Rockwall TX		

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING	AG	CURRENT USE	Undeveloped property	
PROPOSED ZONING	AG	PROPOSED USE	SFD	
ACREAGE	12	LOTS [CURRENT]	1	LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

<input checked="" type="checkbox"/> OWNER	Dennis Cain Melissa Cain	<input type="checkbox"/> APPLICANT	
CONTACT PERSON	Dennis Cain	CONTACT PERSON	
ADDRESS	1150 Crestcove DR	ADDRESS	
CITY, STATE & ZIP	Rockwall TX, 75087	CITY, STATE & ZIP	
PHONE	972-529-8405	PHONE	
E-MAIL	raisincain5@charter.net	E-MAIL	

**NOTARY VERIFICATION [REQUIRED]**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Dennis Cain & Melissa Cain [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

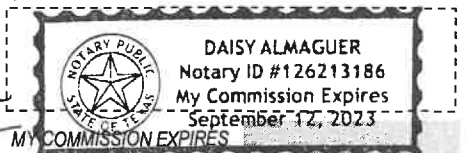
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 380.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 29th DAY OF June, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 29th DAY OF June, 2023.

OWNER'S SIGNATURE

*Dennis Cain & Melissa Cain*  
*[Signature]*  
NOTARY

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







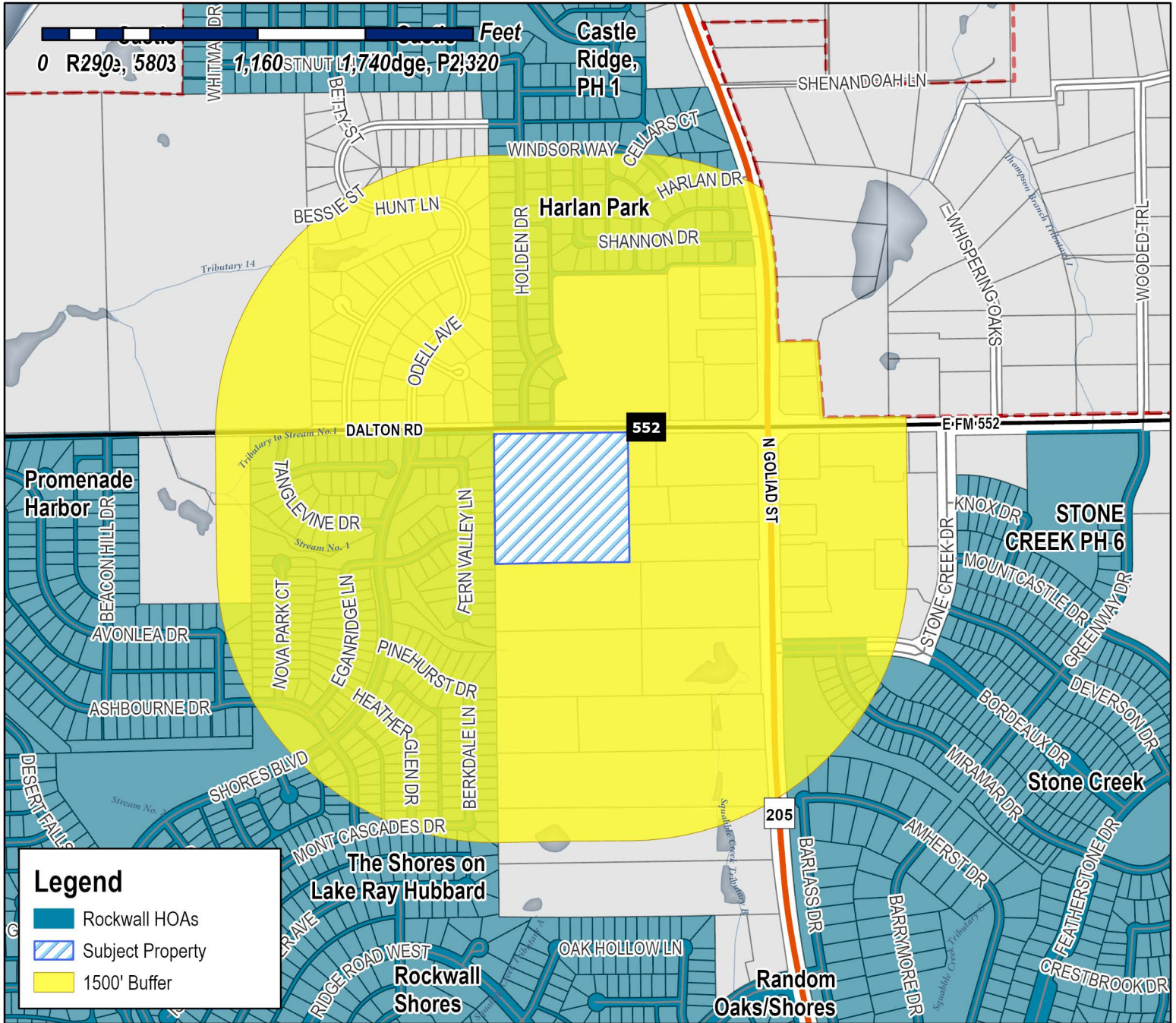
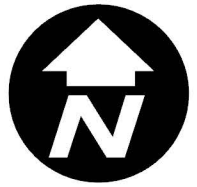




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2023-033  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 803 Dalton Road

**Date Saved:** 7/14/2023  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program [Z2023-033]  
**Date:** Wednesday, July 19, 2023 9:05:32 AM  
**Attachments:** [HOA Map \(07.14.2023\).pdf](#)  
[Public Notice \(P&Z\) \(7.17.2023\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [July 21, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, August 15, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, August 21, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-033: SUP for Residential Infill at 803 Dalton Road

Hold a public hearing to discuss and consider a request by Dennis and Melissa Cain for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill Adjacent to an Established Subdivision for the purpose of allowing the construction of a single-family home on a 12.00-acre tract of land identified as Tracts 8-01 & 8-02 of the W. T. DeWeese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 803 Dalton Road, and take any action necessary.

Thank you,

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568

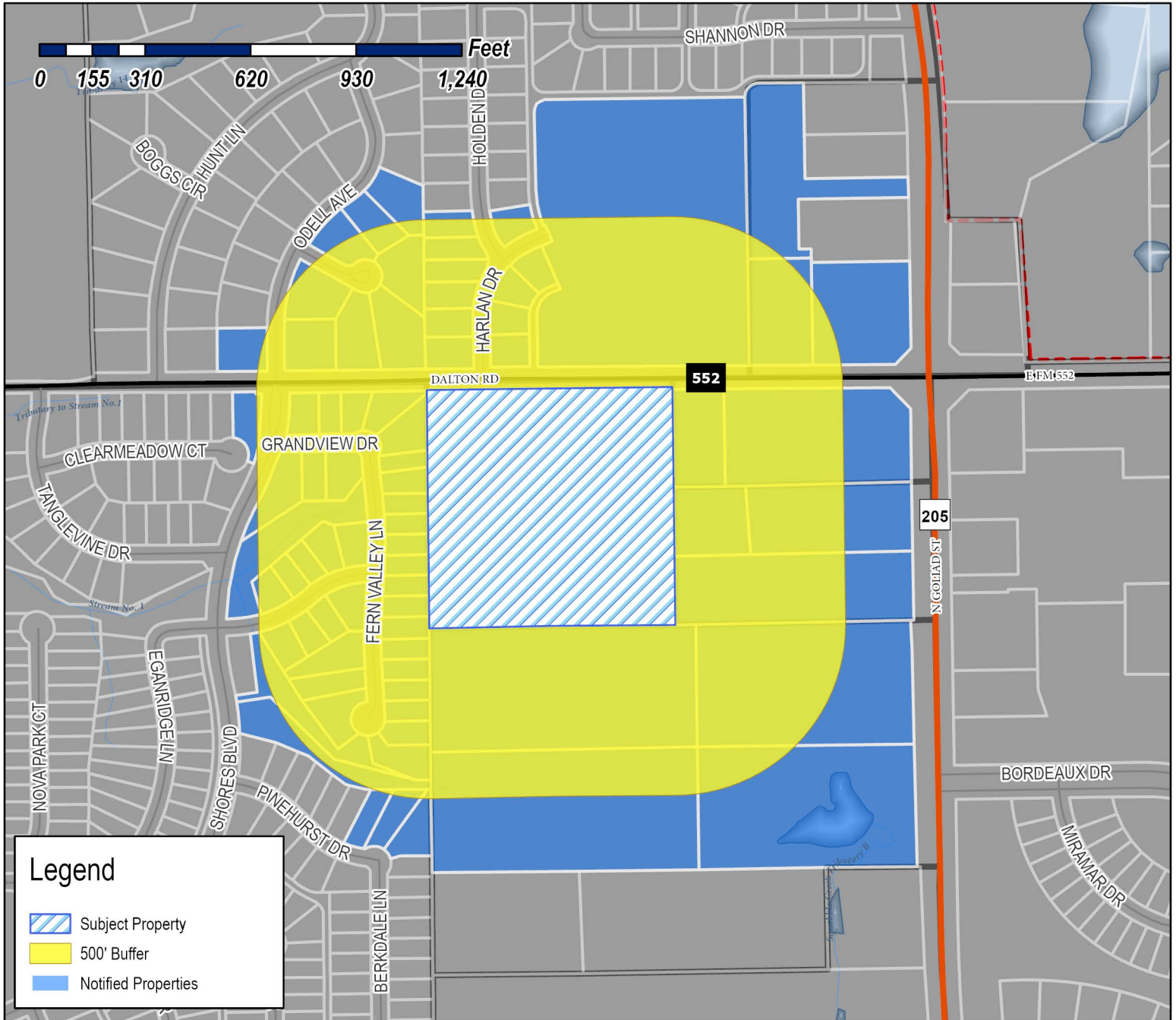
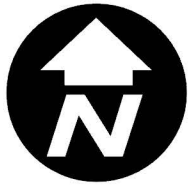




# City of Rockwall

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**Case Number:** Z2023-033  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 803 Dalton Road

**Date Saved:** 7/14/2023

For Questions on this Case Call: (972) 771-7746



MOHAREB RAMI & MARIAN HANNA  
1000 PINEHURST DR  
ROCKWALL, TX 75087

WATTS KEVIN CONNELLY  
106 PECAN DR  
ROCKWALL, TX 75087

RESIDENT  
1265 GRANDVIEW DR  
ROCKWALL, TX 75087

PEYROVAN PEYMAN & MANDANA HAKIMI  
1270 GRANDVIEW  
ROCKWALL, TX 75087

RESIDENT  
1275 GRANDVIEW DR  
ROCKWALL, TX 75087

MCCORMICK LINDA  
1280 GRANDVIEW DR  
ROCKWALL, TX 75087

GONZALEZ FERNANDO  
1285 GRANDVIEW  
ROCKWALL, TX 75087

SMITH JAMES R  
1290 GRANDVIEW DR  
ROCKWALL, TX 75087

ARDEN JOSEPH R AND  
LISA M STEWART ARDEN  
1292 HIGHLAND DR  
ROCKWALL, TX 75087

RESIDENT  
1295 GRANDVIEW DR  
ROCKWALL, TX 75087

DUNN KENT AND AMBER  
1305 CLEARMEADOW COURT  
ROCKWALL, TX 75087

CAMPOS BENJAMIN & TRACY  
139 WAGON TRAIL  
ROCKWALL, TX 75032

BARTLEY JOSHUA AND ASHLEY  
1859 RANDOM OAKS DR  
ROCKWALL, TX 75087

EGANRIDGE SERIES  
A SERIES OF CA & LA LLC  
201 GOLD STREET SUITE 300  
GARLAND, TX 75042

NICHOLS KESNEY  
2130 BERKDALE LANE  
ROCKWALL, TX 75087

HUNT INES V & ROBERT W  
2390 WATER WAY  
ROCKWALL, TX 75087

ALDI TEXAS LLC  
2500 WESTCOURT ROAD  
DENTON, TX 76207

DUNNIGAN MICHAEL  
2650 FERN VALLEY LN  
ROCKWALL, TX 75087

STOVALL HUGH & BETTY JO  
2660 FERN VALLEY LN  
ROCKWALL, TX 75087

YOUNG GARY L AND JENNIFER E CAWTHON  
2665 FERN VALLEY LN  
ROCKWALL, TX 75087

RESIDENT  
2670 FERN VALLEY LN  
ROCKWALL, TX 75087

RESIDENT  
2680 FERN VALLEY LN  
ROCKWALL, TX 75087

WEISS WALTER J & AURELIA JOANN  
2685 FERN VALLEY LN  
ROCKWALL, TX 75087

MORGAN ELLEN IONE  
2690 FERN VALLEY LN  
ROCKWALL, TX 75087

JOLLEY LOIS MAYNO  
2700 FERN VALLEY LN  
ROCKWALL, TX 75087

COLLIER CASEY JAMES  
2705 FERN VALLEY LANE  
ROCKWALL, TX 75087

WOUDWYK TYLER AND ANDREA L CROASDALE  
WOUDWYK  
2710 FERN VALLEY LN  
ROCKWALL, TX 75087

MAXWELL KRISTIN R AND NATHANIEL A  
2720 FERN VALLEY LN  
ROCKWALL, TX 75087

MATHEW DANIEL AND EMILIE MENDALA-  
MATHEW  
2730 FERN VALLEY LANE  
ROCKWALL, TX 75087

RICH JENNIFER A  
2740 FERN VALLEY LN  
ROCKWALL, TX 75087



RESIDENT  
2750 FERN VALLEY LN  
ROCKWALL, TX 75087

POULSON LESLIE C & CAROL D  
2760 FERN VALLEY LN  
ROCKWALL, TX 75087

WEATHERFORD CONNIE  
2770 FERN VALLEY LANE  
ROCKWALL, TX 75087

LAWSON JAMES W & SARAH  
2780 FERN VALLEY LANE  
ROCKWALL, TX 75087

HODGES BARBARA  
2800 FERN VALLEY LANE  
ROCKWALL, TX 75087

LAZORKO JACOB & SHAWNA LAZORKO  
2820 EGANRIDGE LN  
ROCKWALL, TX 75087

KECK MELISSA M  
2825 EGANRIDGE LANE  
ROCKWALL, TX 75087

LANGSTON ELAINA AND TIMOTHY  
2830 EAGEN RIDGE LN  
ROCKWALL, TX 75087

DOORNEK JORDAN  
2835 EGANRIDGE LANE  
ROCKWALL, TX 75087

RESIDENT  
2840 EGANRIDGE LN  
ROCKWALL, TX 75087

RESIDENT  
2845 EGANRIDGE LN  
ROCKWALL, TX 75087

GRUBBS BEN R & SHIRLEY J  
2855 EGANRIDGE LN  
ROCKWALL, TX 75087

BARRON RODOLFO & KRISTIN M  
2860 EGANRIDGE LANE  
ROCKWALL, TX 75087

RESIDENT  
2865 EGANRIDGE LN  
ROCKWALL, TX 75087

FREE METHODIST CHURCH  
OF NORTH AMERICA  
302 N GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
3061 N GOLIAD ST  
ROCKWALL, TX 75087

THE STEED FAMILY LIVING TRUST  
JASON STEED AND NATALIE MARIE STEED -  
TRUSTEES  
3065 N GOLIAD ST  
ROCKWALL, TX 75087

STEED JASON & NATALIE MARIE  
3065 N GOLIAD STREET  
ROCKWALL, TX 75087

LIU JOHN AND CONNIE Q  
3069 N GOLIAD  
ROCKWALL, TX 75087

LIU JOHN & CONNIE  
3069 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
3073 N GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
3077 N GOLIAD ST  
ROCKWALL, TX 75087

FRENCH DONALD  
3079 N GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
315 DALTON RD  
ROCKWALL, TX 75087

RESIDENT  
3251 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
335 DALTON RD  
ROCKWALL, TX 75087

RESIDENT  
350 DALTON ROAD  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
ATTN;MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
ATTN;MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
ATTN;MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

CARTER RICHARD W AND JODY  
406 MCKINZIE PL  
ROCKWALL, TX 75087

RESIDENT  
408 MCKINZIE PL  
ROCKWALL, TX 75087

MASON KEITH AND  
ANN MARIE MASON  
410 MCKENZIE PLACE  
ROCKWALL, TX 75087

ROCKWALL 205-552 LLC  
4622 MAPLE AVE SUITE 200  
DALLAS, TX 75219

YANG BO AND  
YUE HU  
707-8633 CAPSTAN WAY  
RICHMOND CANADA,

CONFIDENTIAL  
709 W. RUSK ST. SUITE B-852  
ROCKWALL, TX 75087

RESIDENT  
7100 ODELL  
ROCKWALL, TX 75087

BULLARD JUSTIN  
JOLIE DAY  
7100 HARLAN DRIVE  
ROCKWALL, TX 75087

SCHULZE DAVID J & CYNTHIA K  
7101 HARLAN DR  
ROCKWALL, TX 75087

KOSMAS NICHOLAS AND SABRINA  
7101 ODELL AVE  
ROCKWALL, TX 75087

ANDERSON PATRICK STEVEN & ROSEANNE  
7102 HARLAN DR  
ROCKWALL, TX 75087

LAWRENCE KIMBERLY DALE LIVING TRUST  
KIMBERLY DALE LAWRENCE TRUSTEE  
7102 ODELL AVENUE  
ROCKWALL, TX 75087

RESIDENT  
7103 HARLAN DR  
ROCKWALL, TX 75087

PATLAN MARIO JR AND AMY  
7104 HARLAN DR  
ROCKWALL, TX 75087

LUNA ERIC AND ANNABELL  
7104 ODELL AVENUE  
ROCKWALL, TX 75087

LOMBARD THOMAS E AND PAULA J  
7105 HARLAN DRIVE  
ROCKWALL, TX 75087

RESIDENT  
7106 ODELL AVE  
ROCKWALL, TX 75087

BURKE AIMEE M  
7106 HARLAN DR  
ROCKWALL, TX 75087

SHORES SUSAN RUTH  
7107 HARLAN DRIVE  
ROCKWALL, TX 75087

CONFIDENTIAL  
7108 ODELL AVE  
ROCKWALL, TX 75087

THOMPSON THOMAS J &  
PAIGE C TILEY  
7109 HOLDEN DR  
ROCKWALL, TX 75087

GREENLEY MARY E TRUSTEE  
MARY E GREENLEY REVOC LIVING TRUST  
7110 HOLDEN DR  
ROCKWALL, TX 75087

RESIDENT  
7111 HOLDEN DR  
ROCKWALL, TX 75087

CORY CLAYTON M & KATHLEEN A  
7125 HOLDEN DR  
ROCKWALL, TX 75087

CAIN DENNIS & MELISSA  
803 DALTON RD  
ROCKWALL, TX 75087

CAIN DENNIS & MELISSA  
803 DALTON RD  
ROCKWALL, TX 75087

SPAULDING PATRICK F & OLIVIA J  
990 PINEHURST DR  
ROCKWALL, TX 75087

ARP 2014-1 BORROWER LLC  
ATTN: PROPERTY TAX DEPARTMENT 23975  
PARK SORRENTO , SUITE 300  
CALABASAS, CA 91302

VENETO HOLDINGS LLC  
P. O. BOX 2379  
CHANDLER, AZ 85244

LITOVSKY MARIA AND ROBERTO  
PO BOX 2004  
ROCKWALL, TX 75087



DOUPHRADE SHARON K  
PO BOX 2561  
ROCKWALL, TX 75087

JCK CONCRETE INC  
PO BOX 311  
FATE, TX 75132

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-033: SUP for Residential Infill at 803 Dalton Road**

Hold a public hearing to discuss and consider a request by Dennis and Melissa Cain for the approval of a *Specific Use Permit (SUP)* for Residential Infill Adjacent to an Established Subdivision for the purpose of allowing the construction of a single-family home on a 12.00-acre tract of land identified as Tracts 8-01 & 8-02 of the W. T. DeWeese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 803 Dalton Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-033: SUP for Residential Infill at 803 Dalton Road**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

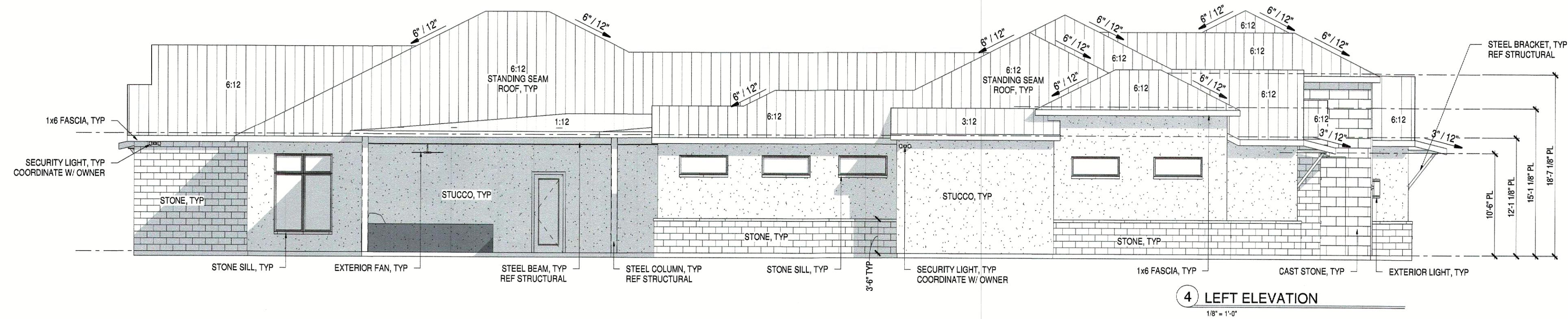
Name:

Address:

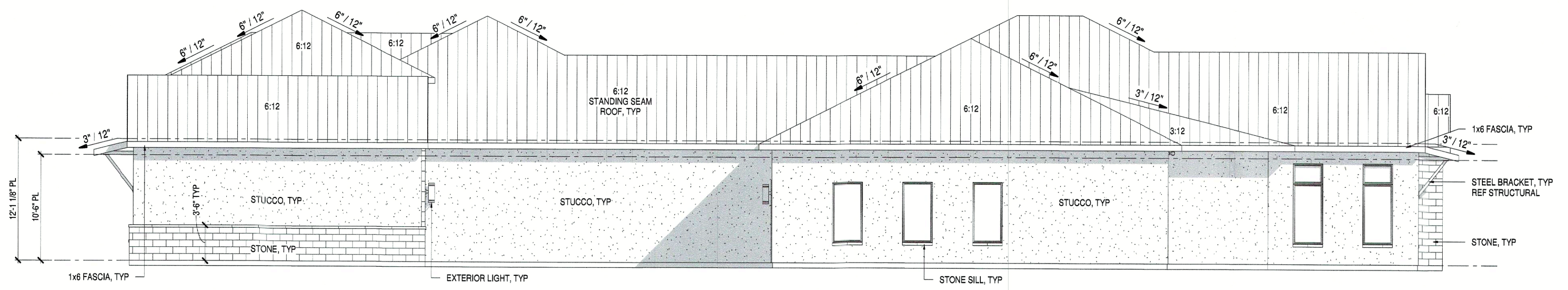
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

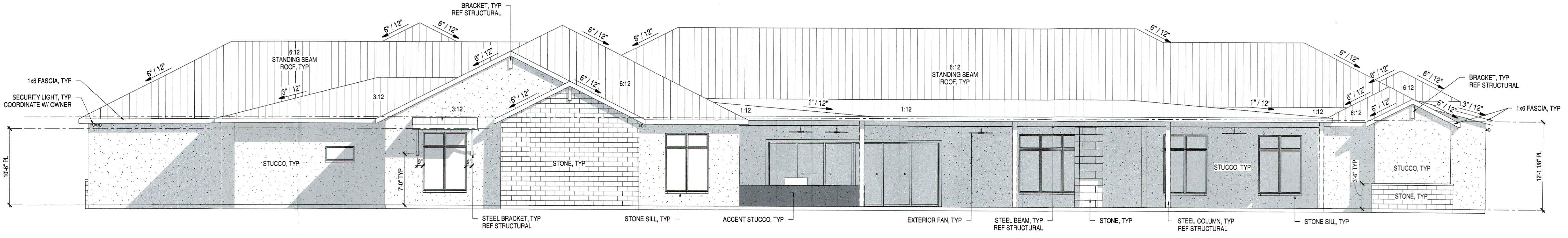




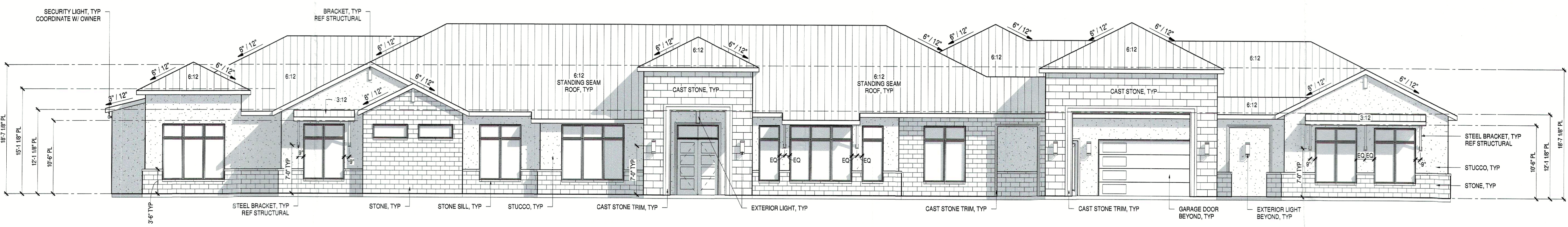
4 LEFT ELEVATION  
1/8" = 1'-0"



3 RIGHT ELEVATION  
1/8" = 1'-0"



2 REAR ELEVATION  
1/8" = 1'-0"



1 FRONT ELEVATION  
1/8" = 1'-0"

THESE DRAWINGS AND SPECIFICATIONS SHALL BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF STRAND SYSTEMS ENGINEERING INC.

VERSION 1

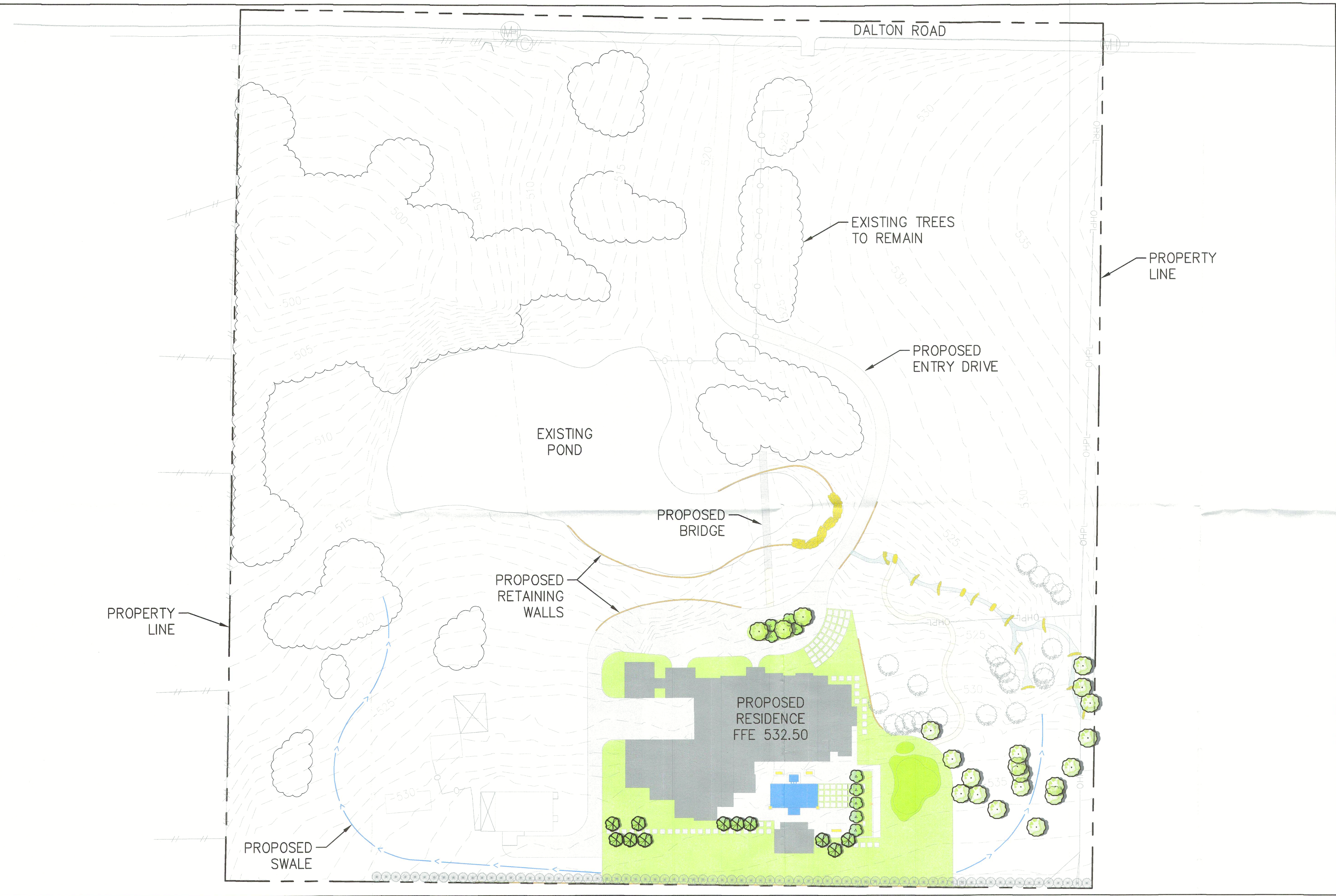
DENNIS CAIN  
 PRIVATE RESIDENCE  
 BLOCK  
 ADDRESS 803 DALTON RD.  
 CITY ROCKWALL, TX 75087  
 PLAN

DATE 06.01.2023  
 SCALE 1/8" = 1'-0"  
 DRN

A20.02

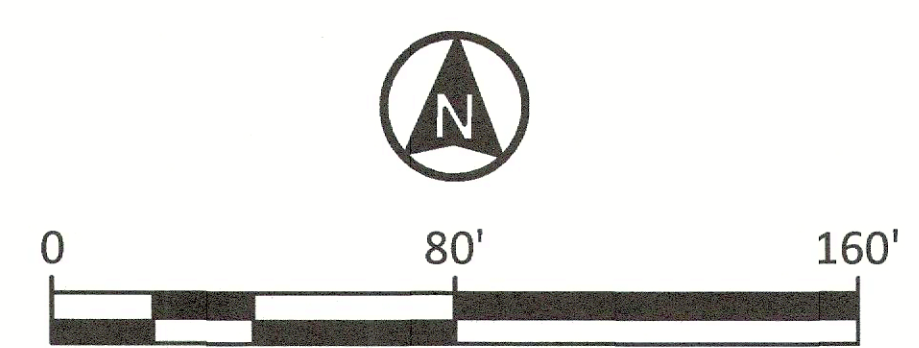
STRAND 2238871





**LEGEND**

	RESIDENCE
	CONCRETE/STONE PATIO
	POOL/HOT TUB
	FIRE PIT
	PUTTING GREEN
	SYNTHETIC TURF
	STREAM
	STREAM BOULDERS
	RETAINING WALL
	NATURE TRAIL
	SWALE/DRAINAGE



6/22/2023

# CAIN RESIDENCE

## CONCEPTUAL DESIGN DEVELOPMENT

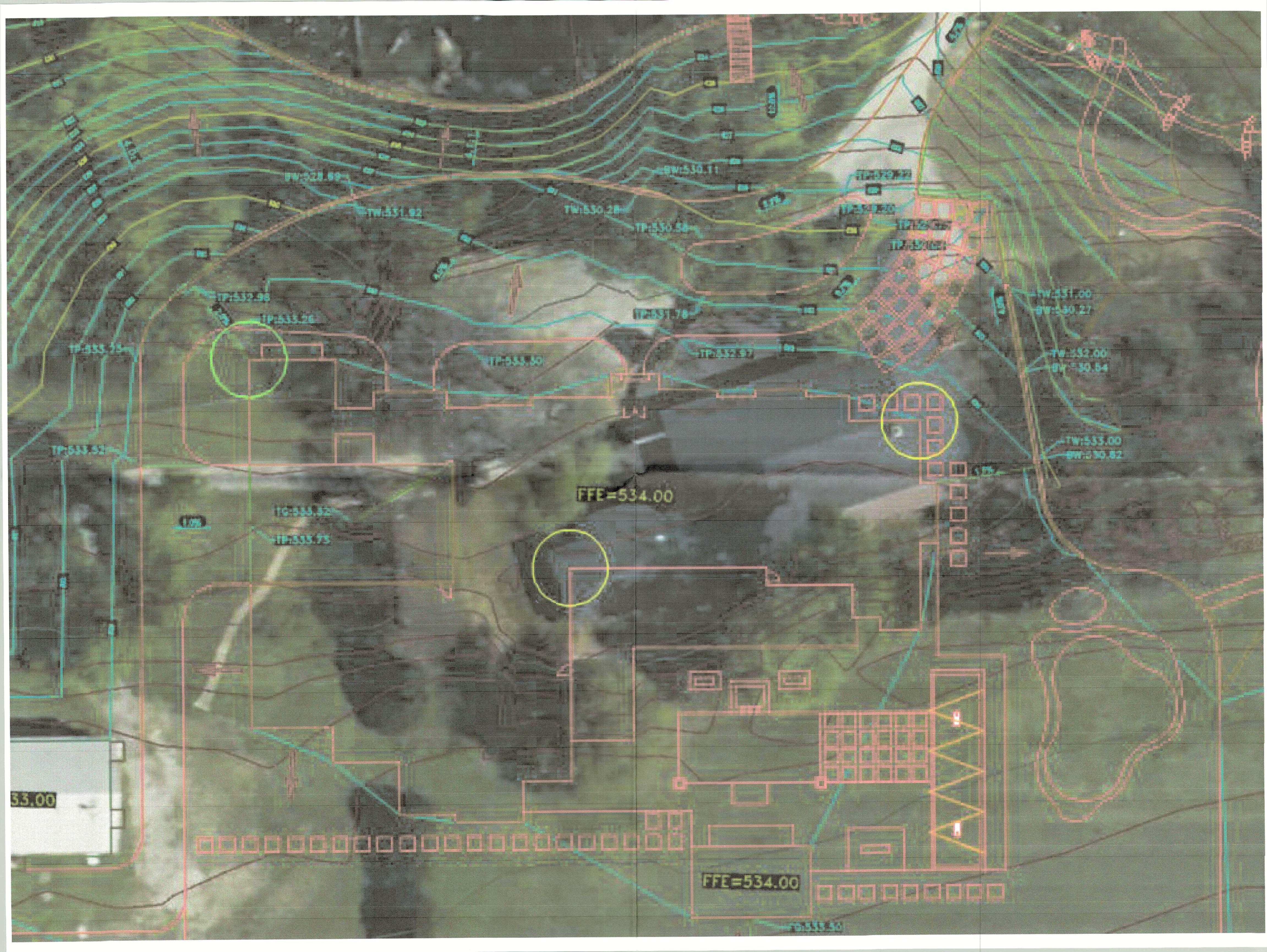
### OVERALL LAYOUT

**STRAND** PLANNING AND LANDSCAPE ARCHITECTURE  
 KENNY KOWIS, PLA | KENNY.KOWIS@STRANDAE.COM | 972.620.8204

This exhibit is an illustrative representation for presentation purposes only and should not be used for computation or construction purposes. The information provided within should be considered a graphic representation to aid in determining plan components and relationships and is subject to change without notice. All property boundaries, easements, road alignments, drainage, floodplains, environmental issues and other information shown is approximate and should not be relied upon for any purpose. No warranties, express or implied, concerning the actual design, accuracy, location, and character of the facilities shown on this exhibit are intended.  
 ©2023 STRAND, ALL RIGHTS RESERVED

10003 TECHNOLOGY BLVD WEST | DALLAS TEXAS 75220 | 972 620 8204









# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
335 Dalton Road	Single-Family Home	2002	3,420	N/A	Brick
803 Dalton Road	Vacant	N/A	N/A	N/A	N/A
3077 N. Goliad Street	Single-Family Home	1993	6,848	1980	Brick
3079 N. Goliad Street	Single-Family Home	1993	4,161	N/A	Siding
2720 Fern Valley Lane	Single-Family Home	2005	2,535	N/A	Brick
2730 Fern Valley Lane	Single-Family Home	2005	2,829	N/A	Brick
2740 Fern Valley Lane	Single-Family Home	2005	2,816	N/A	Brick
2750 Fern Valley Lane	Single-Family Home	2005	2,494	N/A	Brick
2760 Fern Valley Lane	Single-Family Home	2005	2,764	N/A	Brick
2770 Fern Valley Lane	Single-Family Home	2005	2,525	N/A	Brick
2780 Fern Valley Lane	Single-Family Home	2005	3,029	N/A	Brick
2800 Fern Valley Lane	Single-Family Home	2006	2,718	N/A	Brick
	AVERAGES:	2003	3,285	1,980	





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



335 Dalton Road



803 Dalton Road





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



3077 N. Goliad Street



3079 N. Goliad Street





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



2720 Fern Valley Lane



2730 Fern Valley Lane





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



2740 Fern Valley Lane



2750 Fern Valley Lane





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



2760 Fern Valley Lane



2770 Fern Valley Lane





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



2780 Fern Valley Lane



2800 Fern Valley Lane



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 12.00-ACRE TRACT OF LAND, IDENTIFIED AS TRACTS 8-01 & 8-02 OF THE W.T. DEWEESE SURVEY, ABSTRACT NO. 71, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Dennis and Melissa Cain for the approval of a *Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision* on a 12.00-acre tract of land identified as Tracts 8-01 & 8-02 of the W.T. DeWeese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 803 Dalton Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 02.01, *Agricultural*

(AG) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.



PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF SEPTEMBER, 2023.

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 21, 2023

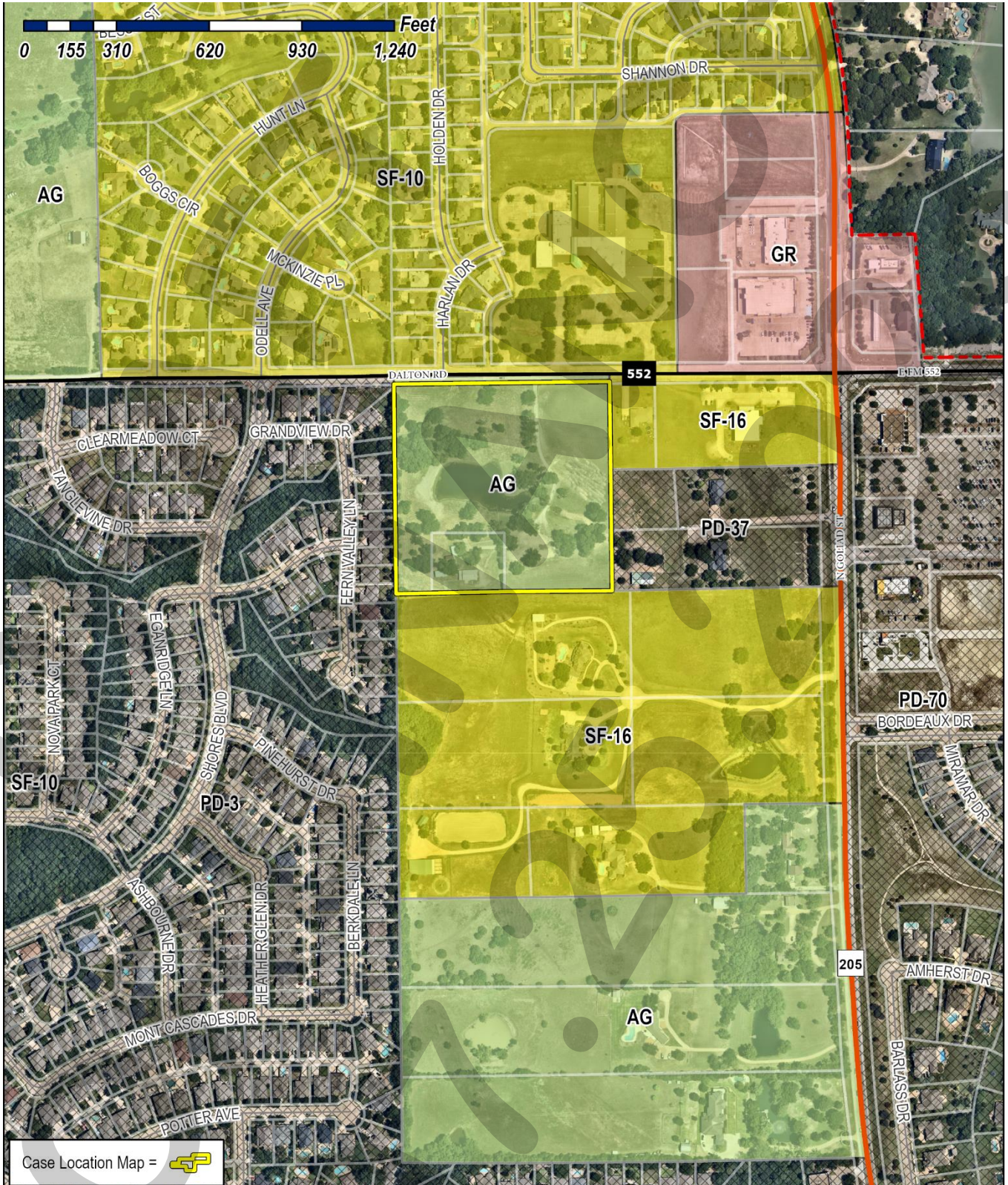
2<sup>nd</sup> Reading: September 5, 2023



**Exhibit 'A':  
Location Map**

Address: 803 Dalton Road

Legal Description: Tracts 8-01 & 8-02 of the W.T. DeWeese Survey, Abstract No. 71



Case Location Map =



**Exhibit 'B':**  
**Residential Plot Plan**

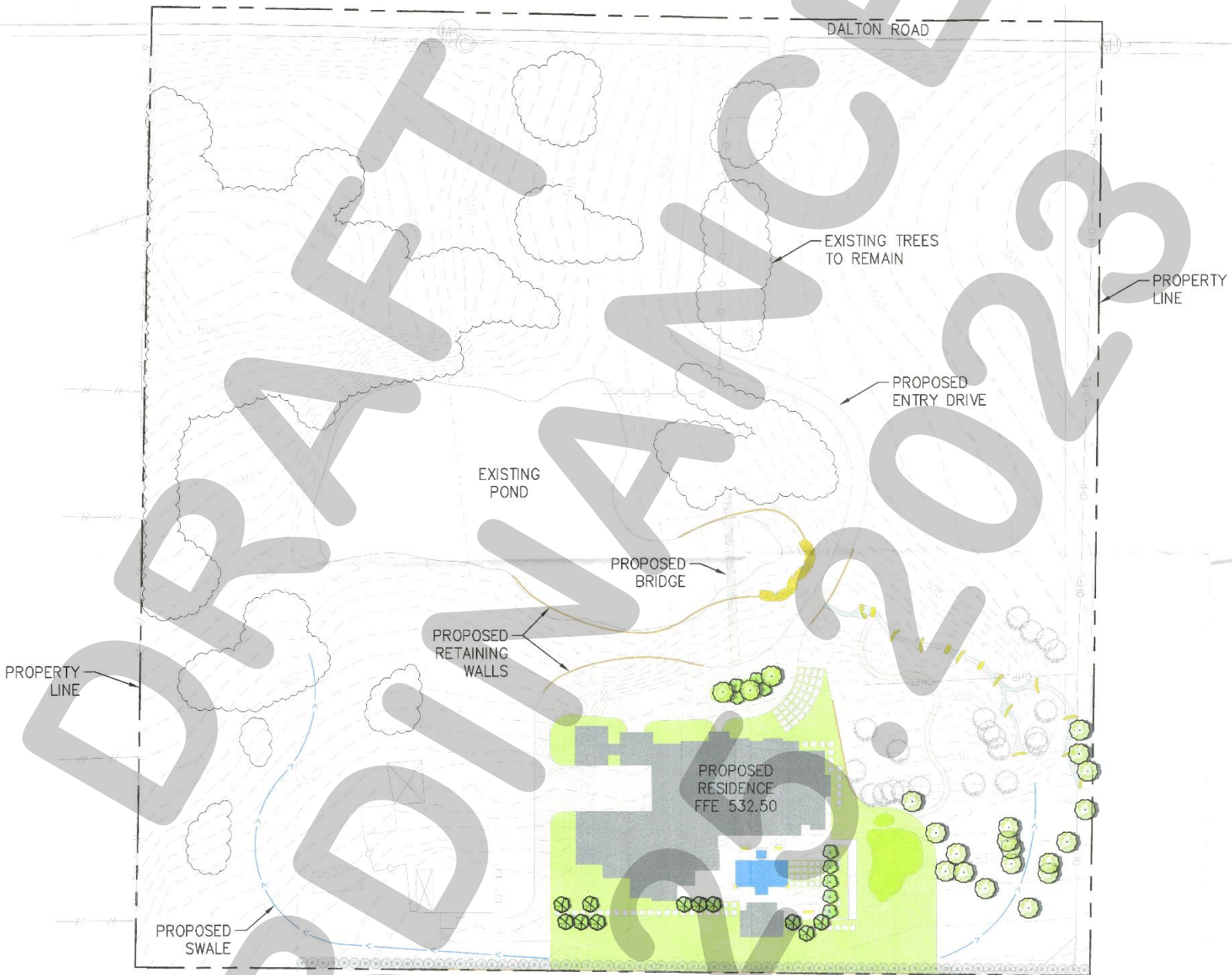
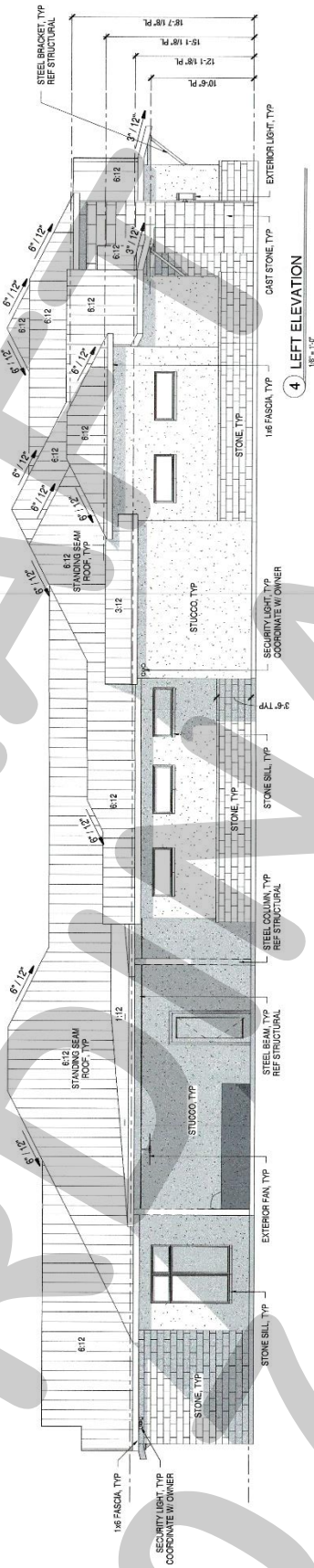


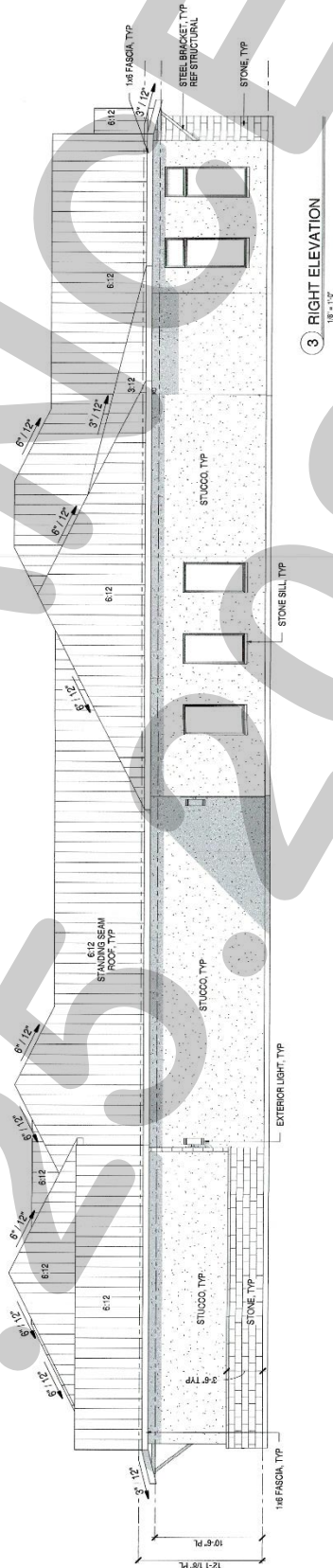




Exhibit 'C':  
Building Elevations



4 LEFT ELEVATION  
1/8" = 1'-0"



3 RIGHT ELEVATION  
1/8" = 1'-0"

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 7/21/2023

PROJECT NUMBER: Z2023-034  
PROJECT NAME: Zoning Change from SFE-4.0 to SFE-1.5  
SITE ADDRESS/LOCATIONS: 626 E CULLINS RD

CASE CAPTION: Hold a public hearing to discuss and consider a request by Dakota and Claire Brewer for the approval of a Zoning Change from a Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family 1.5 (SFE-1.5) District for a 2.66-acre tract of land identified as a Tract 4-2 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE-4.0) District, addressed as 626 Cullins Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	07/20/2023	Approved w/ Comments

07/20/2023: Z2023-034; Zoning Change from SFE-4.0 to SFE-1.5

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for a Zoning Change from an Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family Estate 1.5 (SFE-1.5) District on a 5.41-acre parcel of land identified as a portion of Tract 4-06 and all of Tract 4-2 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE-4.0) District, and addressed as 626 Cullins Road.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (Z2023-034) in the lower right-hand corner of all pages on future submittals.

I.4 On July 13, 2023, the Board of Adjustments approved a motion to approve the variance to allow a decrease in lot depth from 250-feet to 208-feet, 9-inches on the 2.66-acre subject property by a vote of 4-0, with alternate board member Joseph Wright absent.

M.5 Please review the attached draft ordinance prior to the August 15, 2023 Planning & Zoning Commission meeting, and provide staff with your markups by August 8, 2023.

I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 8, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 15, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 25, 2023.

I.7 The projected City Council meeting dates for this case will be August 21, 2023 (1st Reading) and September 5, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jonathan Browning	07/19/2023	Approved w/ Comments
No Comments			



DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/21/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/20/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/17/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany Ross	07/21/2023	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/19/2023	Approved
No Comments			







# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	626 Cullins Rd.		
SUBDIVISION	W.W. Ford Survey A-80	LOT	BLOCK
GENERAL LOCATION	Cullins Rd. & FM 549		

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	SFE-4	CURRENT USE	SFE-2.0		
PROPOSED ZONING	SFE-16	PROPOSED USE	SFE-16		
ACREAGE	2.66	LOTS [CURRENT]	1	LOTS [PROPOSED]	2

\*3.0 acres including road right-of-way

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Dakota & Claire Brewer	<input checked="" type="checkbox"/> APPLICANT	Dakota Brewer & Claire
CONTACT PERSON	Dakota Brewer	CONTACT PERSON	Dakota Brewer
ADDRESS	626 Cullins Rd	ADDRESS	626 Cullins Rd
CITY, STATE & ZIP	Rockwall, TX 75032	CITY, STATE & ZIP	Rockwall, TX 75032
PHONE	(972) 743-6684	PHONE	(972) 743-6684
E-MAIL	Dakota.Brewer@utexas.edu	E-MAIL	Dakota.Brewer@utexas.edu

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Dakota Brewer [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

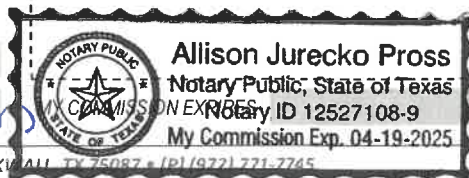
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19<sup>th</sup> DAY OF May, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19 DAY OF May, 2023

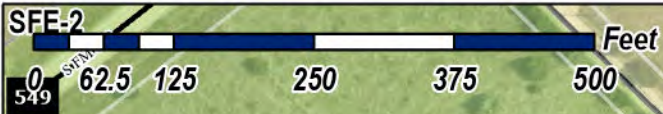
OWNER'S SIGNATURE Dakota Brewer

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Allison Jurecko Pross








Z2023-034: Zoning Change From SFE-4 To SFE-1.5 at 626 Cullins Road



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



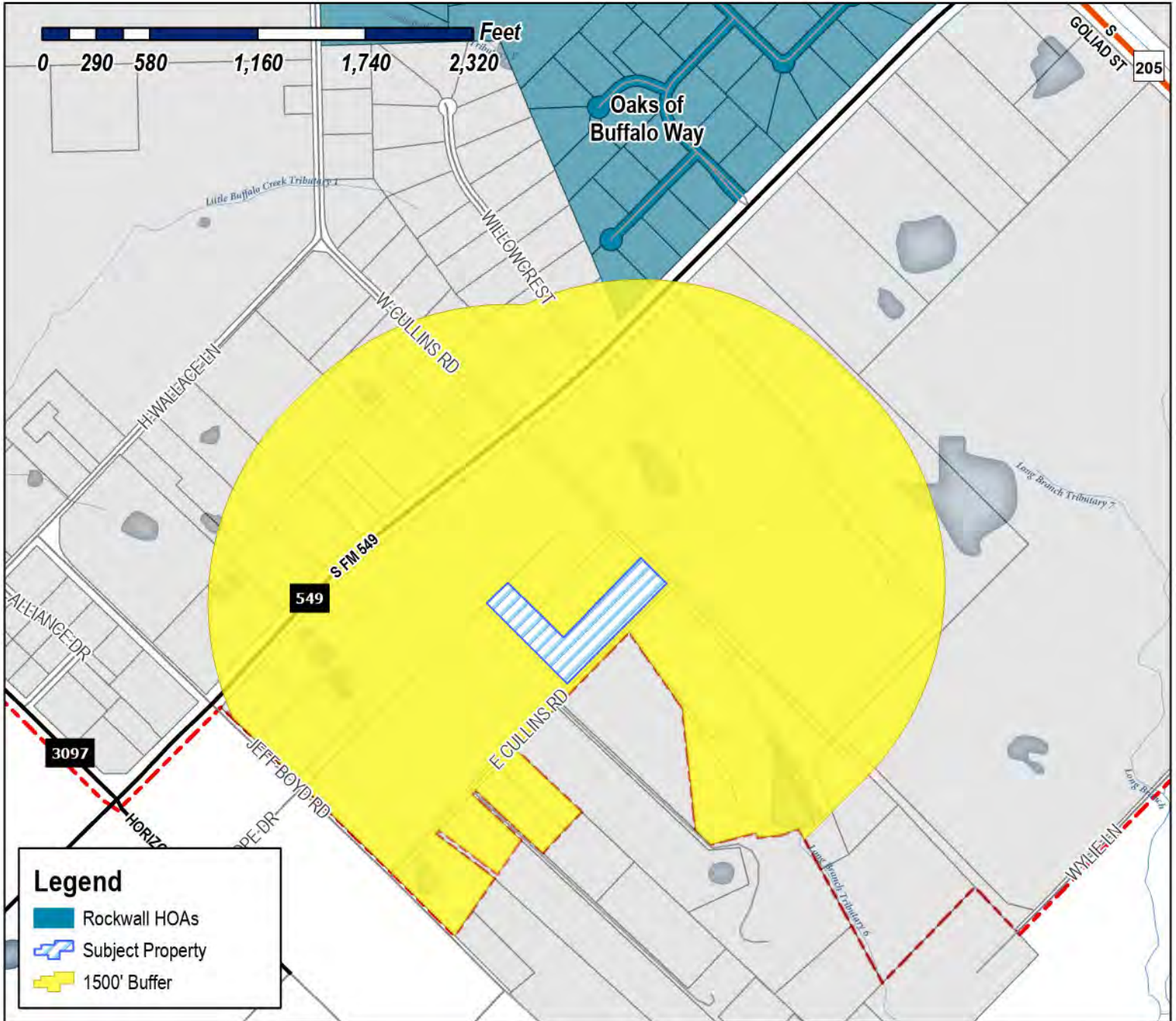




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**Case Number:** Z2023-034  
**Case Name:** Zoning Change from SFE-4.0 to SFE-1.5  
**Case Type:** Zoning  
**Zoning:** Single Family Estate 4.0 (SFE-4.0)  
**Case Address:** 626 Cullins Road

**Date Saved:** 7/14/2023  
 For Questions on this Case Call (972) 771-7745



## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, July 19, 2023 9:05 AM  
**Cc:** Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-034]  
**Attachments:** Public Notice (P&Z) (7.17.2023).pdf; HOA Map (07.14.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *July 21, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, August 15, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, August 21, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-034: Zoning Change from SFE-4.0 to SFE-1.5**

Hold a public hearing to discuss and consider a request by Dakota and Claire Brewer for the approval of a *Zoning Change* from a Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family 1.5 (SFE-1.5) District for a 2.66-acre tract of land identified as a Tract 4-2 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE-4.0) District, addressed as 626 Cullins Road, and take any action necessary.

Thank you,

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568

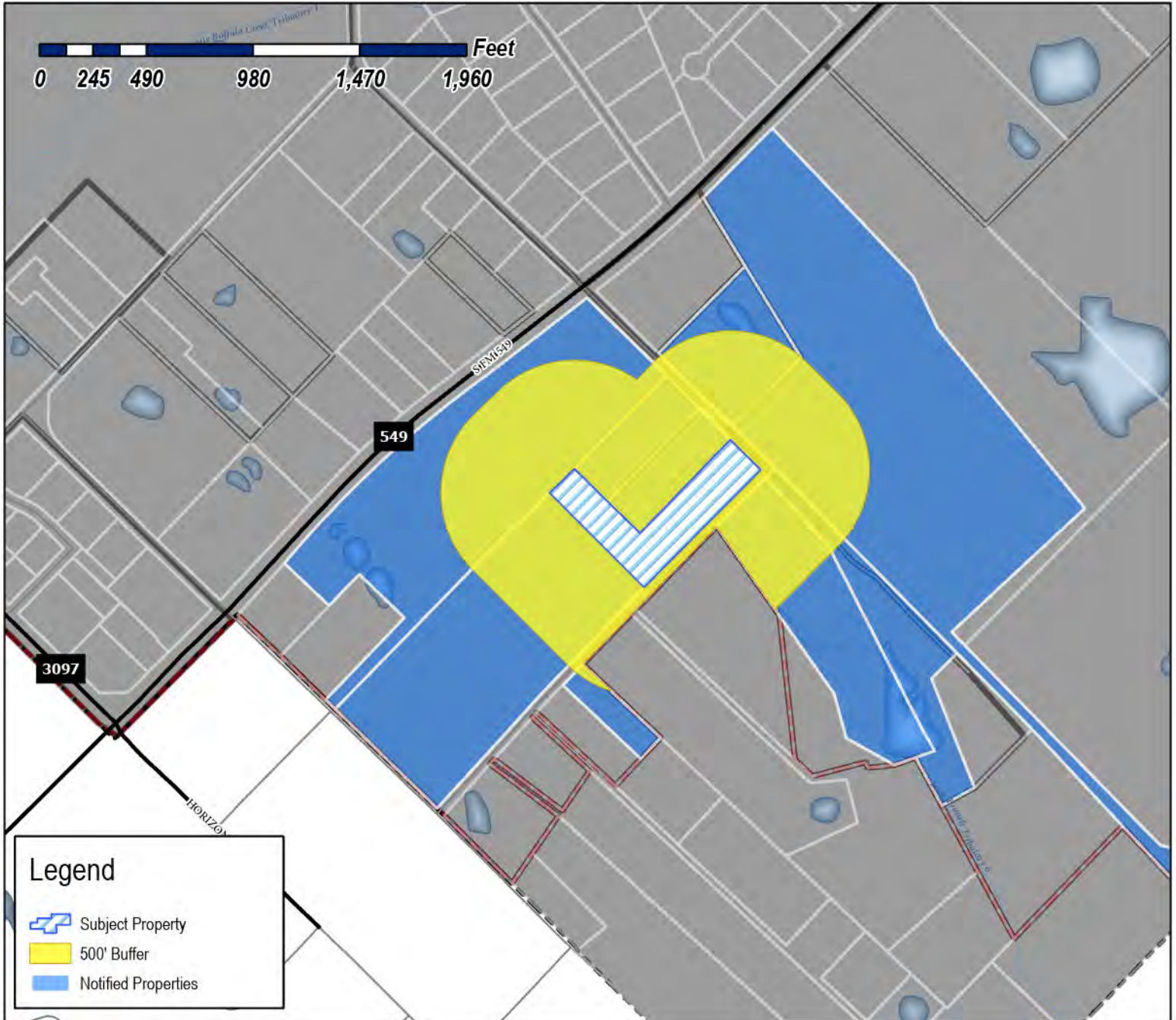




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

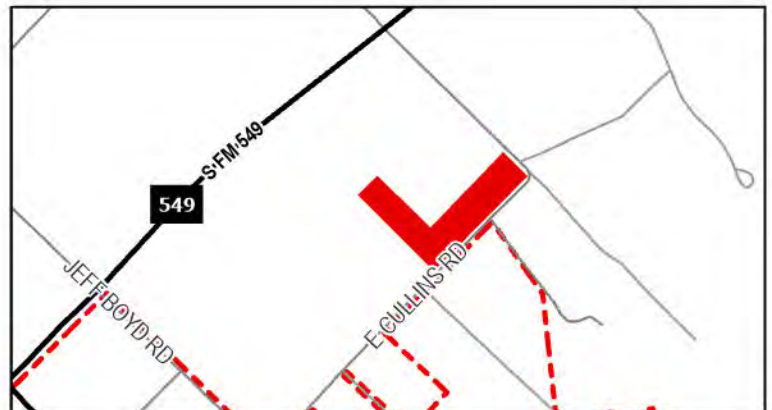
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**Case Number:** Z2023-034  
**Case Name:** Zoning Change from SFE-4 to SFE-1.5  
**Case Type:** Zoning  
**Zoning:** Single Family Estate 4.0 (SFE-4.0)  
**Case Address:** 626 Cullins Road

**Date Saved:** 7/14/2023

For Questions on this Case Call: (972) 771-7746



ABREU JORGE AND TASHA  
570 CULLINS RD  
ROCKWALL, TX 75032

ROGERS BROOKE AND GENE FRANKLIN  
626 E CULLINS RD  
ROCKWALL, TX 75032

HOPE LESLIE AND DARYL  
530 CULLINS  
ROCKWALL, TX 75032

HOLLAND SAUNDRA G  
909 E CULLINS RD  
ROCKWALL, TX 75032

WILSON BRET A & LESLIE  
535 E CULLINS RD  
ROCKWALL, TX 75032

BYRD GARY ETUX  
707 E CULLINS RD  
ROCKWALL, TX 75032

ROCKWALL HIGHGATE LTD C/O SCOTT ASBURY  
13155 NOEL RD #900  
DALLAS, TX 75240

OCCUPANT  
326 CULLINS RD  
ROCKWALL, TX 75032

FOLEY-TRAVIS LE'ARDEN J  
403 TRAVIS LANE  
ROCKWALL, TX 75032

POPE TONY W & KARREN L  
220 COUNTY RD 2174  
SULPHUR SPRINGS, TX 75482

BOYD WILKIE HUGH  
489 JEFF BOYD RD  
ROCKWALL, TX 75032



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-034: Zoning Change from SFE-4 to SFE-1.5**

Hold a public hearing to discuss and consider a request by Dakota and Claire Brewer for the approval of a Zoning Change from a Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family 1.5 (SFE-1.5) District for a 2.66-acre tract of land identified as a Tract 4-2 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE-4.0) District, addressed as 626 Cullins Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-034: Zoning Change from SFE-4 to SFE-1.5**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0110 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
- 4) Property owners are responsible for maintenance, repair and replacement of all retaining walls, the HOA and the owner are responsible for drainage and detention systems in easements.

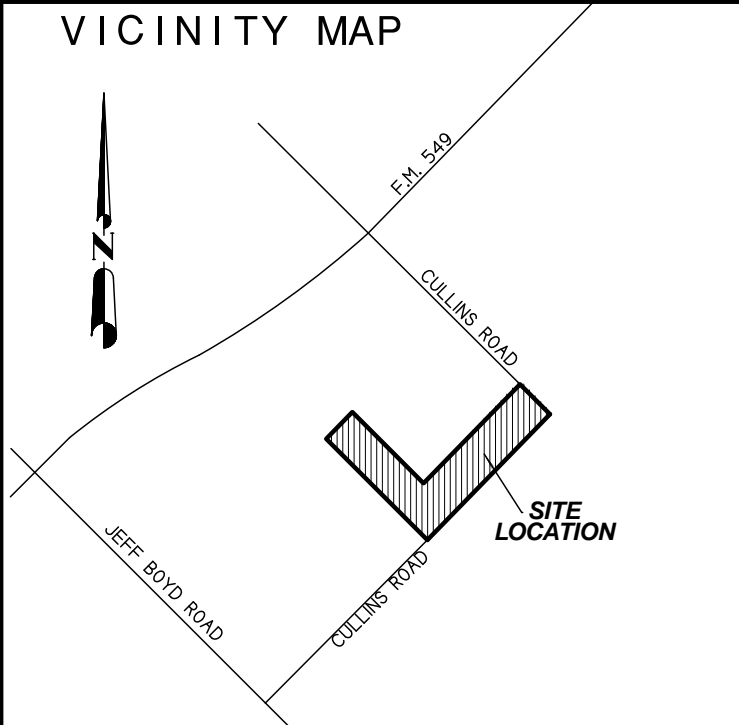
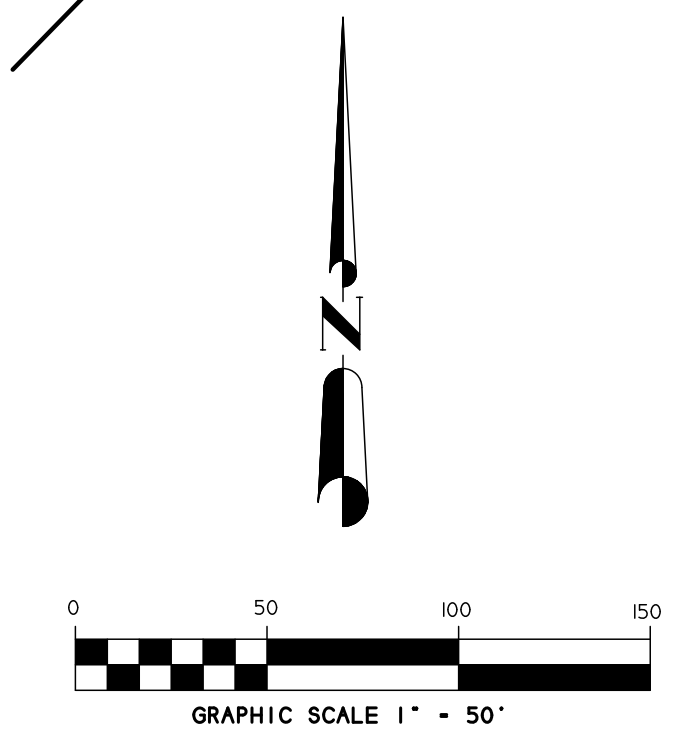
27.87 ACRES  
WILKIE HUGH BOYD  
V. 4804. PG. 254

3.00 ACRES  
LESLIE HOPE  
DARYL HOPE  
DOC#20160000016212  
O.P.R.R.C.T.

3.00 ACRES  
JORGE ABREU  
TAHSA ABREU  
DOC#20210000014188  
O.P.R.R.C.T.

TONY POPE  
KAREN POPE  
V. 7050. PG. 91

LOT 1  
BLOCK A  
5.41 ACRES  
235,559 SQ. FT.



FINAL PLAT  
**G & B ROGERS ADDITION**  
**LOT 1, BLOCK A**

5.41 ACRES 235,559 S.F.  
W.W. FORD SURVEY, ABSTRACT NO. 80  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

OWNER:  
GENE ROGERS  
BROOKE ROGERS  
626 CULLINS ROAD  
ROCKWALL, TEXAS 75087

SYMBOL LEGEND			
⊗	TV	⊗	TEL
⊗	GAS	⊗	PH
⊗	TELEVISION	⊗	FIRE
⊗	CABLE RISER	⊗	HYDRANT
⊗	METER	⊗	POWER
⊗	RISER	⊗	POLE
⊗	ELEC	⊗	LP
⊗	BOX	⊗	W/2" IRF
⊗	SUBSURFACE	⊗	NON ASD FOUND
⊗	JUNCTION BOX	⊗	1" CORNER
---	EASEMENT LINE	---	PROPERTY LINE

H.D. Fetty Land Surveyor, LLC  
Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE NOVEMBER 29, 2022  
SCALE 1" = 50' FILE # 20220159-FP  
CLIENT ROGERS

CITY CASE P2023-





**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

## PERMITTED LAND USES IN AN SINGLE FAMILY ESTATES (SFE) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	SINGLE FAMILY ESTATE DISTRICTS
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	<a href="#">(1)</a>		P
Animal Boarding/Kennel with Outside Pens	<a href="#">(2)</a>	<a href="#">(1)</a>	S
Animal Boarding/Kennel without Outside Pens	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Commercial Horse Corral or Stable	<a href="#">(9)</a>	<a href="#">(5)</a>	S
Private Horse Corral or Stable	<a href="#">(10)</a>	<a href="#">(6)</a>	P
Community Garden	<a href="#">(11)</a>	<a href="#">(7)</a>	S
Urban Farm	<a href="#">(12)</a>	<a href="#">(8)</a>	S
Wholesale Nursery ( <i>i.e. without Retail Sale On-Site</i> )	<a href="#">(13)</a>		S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Bed and Breakfast	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Residential Garage	<a href="#">(7)</a>	<a href="#">(4) &amp; (5)</a>	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	<a href="#">(8)</a>	<a href="#">(6)</a>	A
Home Occupation	<a href="#">(9)</a>	<a href="#">(7)</a>	P
Portable Building	<a href="#">(15)</a>	<a href="#">(10)</a>	P
Residential Infill in an Established Subdivision	<a href="#">(16)</a>	<a href="#">(11)</a>	S
Single-Family Detached Structure	<a href="#">(18)</a>	<a href="#">(13)</a>	P
Private Swimming Pool	<a href="#">(20)</a>		A
Private Tennis Court	<a href="#">(21)</a>		S
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Church/House of Worship	<a href="#">(4)</a>	<a href="#">(2)</a>	S
Daycare with Seven (7) or More Children	<a href="#">(9)</a>	<a href="#">(4)</a>	S
Group or Community Home	<a href="#">(11)</a>	<a href="#">(5)</a>	P
Public or Private Primary School	<a href="#">(21)</a>	<a href="#">(7)</a>	S
Public or Private Secondary School	<a href="#">(22)</a>	<a href="#">(8)</a>	S
Temporary Education Building for a Public or Private School	<a href="#">(23)</a>	<a href="#">(9)</a>	S
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		S
Private Country Club	<a href="#">(5)</a>		S
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Public Park or Playground	<a href="#">(12)</a>		P
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	<a href="#">(25)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	<a href="#">(12)</a>	<a href="#">(5)</a>	S



**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

## PERMITTED LAND USES IN AN SINGLE FAMILY ESTATES (SFE) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	SINGLE FAMILY ESTATE DISTRICTS
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	<b>2.02(K)</b>	<b>2.03(K)</b>	
Antenna, as an Accessory	<a href="#">(2)</a>	<a href="#">(1)</a>	S
Antenna, for an Amateur Radio	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Antenna Dish	<a href="#">(5)</a>	<a href="#">(4)</a>	A
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S
Municipally Owned or Controlled Facilities, Utilities and Uses	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Railroad Yard or Shop	<a href="#">(14)</a>		S
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		S
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S
Wireless Communication Tower	<a href="#">(24)</a>		S

# 18 SOUTHWEST RESIDENTIAL DISTRICT

## DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

## DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

1 **Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

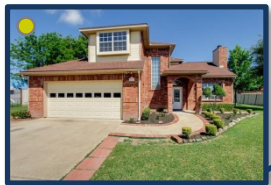
2 **Commercial/Industrial Land Uses.** The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

3 **Transitional Areas.** The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

4 **Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street).** The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



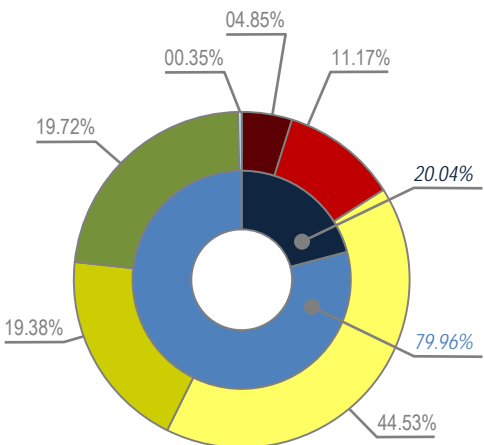
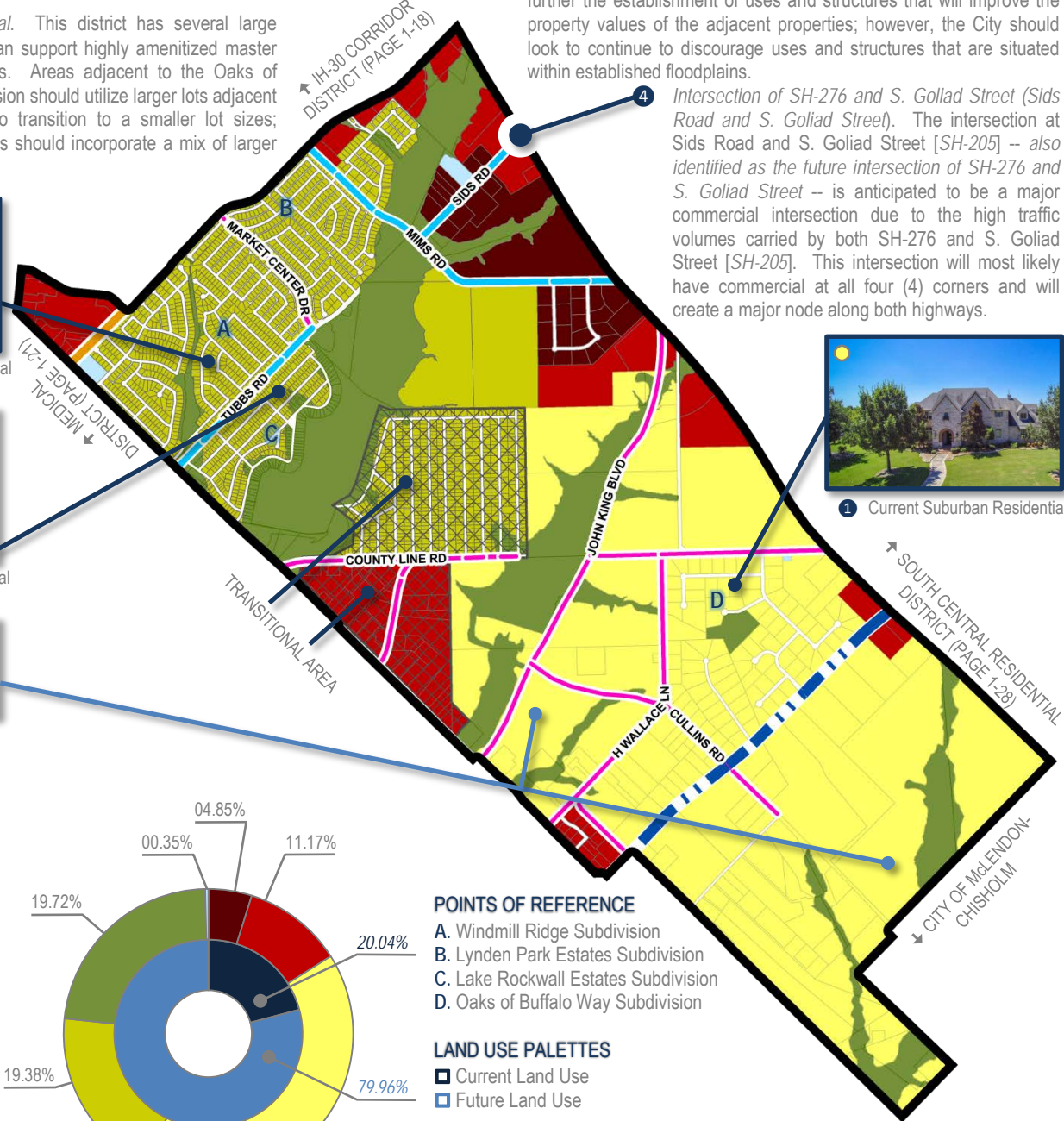
1 Current Suburban Residential



1 Current Suburban Residential



1 Future Suburban Residential



### POINTS OF REFERENCE

- A. Windmill Ridge Subdivision
- B. Lynden Park Estates Subdivision
- C. Lake Rockwall Estates Subdivision
- D. Oaks of Buffalo Way Subdivision

### LAND USE PAlettes

- Current Land Use
- Future Land Use

COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
COMMERCIAL/RETAIL (CR)	277.44-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
PARKS AND OPEN SPACE (OS)	489.99-ACRES
QUASI-PUBLIC (QP)	8.67-ACRES

BUILD OUT	4,251
% OF ROCKWALL	10.95%
CURRENT	2,190
	188
	7,437

COMMERCIAL	20.04%
RESIDENTIAL	79.96%
MIXED USE	0.00%
MINOR COLLECTOR	
M4D	
M4U	
TXDOT 4D	



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 7/20/2023

PROJECT NUMBER: Z2023-035  
PROJECT NAME: SUP for Texas Wedge  
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) amending Ordinance No. 22-52 [S-287] for a Golf Driving Range on an 7.955-acre tract of land being portions of a larger 18.131-acre tract of land and a 12.868-acre tract of land identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located near the terminus of Fit Sport Life Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	07/19/2023	Needs Review

07/19/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Golf Driving Range and Outdoor Commercial Amusement/Recreation on an 7.955-acre tract of land being portions of a larger 18.131-acre tract of land and a 12.868-acre tract of land identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located near the terminus of Fit Sport Life Boulevard.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2023-035) in the lower right-hand corner of all pages on future submittals.

I.4 The approval of this Specific Use Permit (SUP) shall supersede all requirements stipulated by Ordinance No. 22-52 (S-287).

I.5 According to Article 13, Definitions, of the Unified Development Code (UDC), a Golf Driving Range is defined as “(a)n area improved with trees, greens, fairways, hazards, and which may include a clubhouse dining room, and accessory recreational uses.” In addition, Article 04, Permissible Uses, of the Unified Development Code (UDC) requires a Specific Use Permit (SUP) for a Golf Driving Range in a Commercial (C) District.

I.6 According to Article 13, Definitions, of the Unified Development Code (UDC), Outdoor Commercial Amusement/Recreation is defined as “(a)n amusement enterprise that offers entertainment or games of skill to the general public for a fee or charge wherein any portion of the activity takes place in the open.” In addition, Article 04, Permissible Uses, of the Unified Development Code (UDC) requires a Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation in a Commercial (C) District.

I.7 According to the Article 05, District Development Standards, of the Unified Development Code (UDC), the maximum height in a Commercial (C) District is 60-feet; however, the City Council -- upon recommendation from the Planning and Zoning Commission -- can increase the height permitted to 240-feet through a Specific Use Permit (SUP).

M.8 The netting height exhibit has the old building elevations on it. Please update this to reflect the current proposal.

M.9 Please provide updated floor plans that show the use for each room (include any storage, backrooms/hallways, kitchens, restrooms, etc.). Currently not all of the rooms have a use, and many of the square footages contradict each other. Please make these consistent in order to calculate the parking that will be required at site plan. At this time, staff has

calculated the following parking:

- Mini Golf – 27 holes x (1 space per hole) = 27 parking spaces
- Shop – 1,200 SF / (1 space per 250 SF) = 5 parking spaces
- Restaurants – 31,800 SF / (1 space per 100 SF) = 318 parking spaces
- Driving Range – 24,900 SF / (1 space per 250 SF) = 100 parking spaces
- Total Parking Required: 450

I.10 As the request was submitted, staff has identified several variances associated with this request. These are as follows:

- (1) Less than 20% natural/quarried stone
- (2) Greater than 10% secondary materials (i.e. metal)
- (3) More than one (1) row of parking in front of the building
- (4) Maximum height

I.11 Please note that the Unified Development Code (UDC) requires compensatory measures (e.g. increased landscaping, larger caliper trees, etc.) be established that directly offset any variance that are requested. Please provide a letter indicating any compensatory measures being proposed with this case.

I.12 Please be cognizant of the Roof Top Units (RTUs). All RTUs must be screened by the parapet and not visible from any adjacent property or public Right of Way (ROW). Given this, either height or form changes might need to be made depending on the size and location of the RTUs.

M.13 Please review the attached draft ordinance prior to the July 25, 2023 Planning & Zoning Commission meeting, and provide staff with your markups by August 8, 2023.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 8, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 15, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 25, 2023.

I.15 The projected City Council meeting dates for this case will be August 21, 2023 (1st Reading) and September 5, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jonathan Browning	07/19/2023	Approved w/ Comments
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Henry Lee	07/20/2023	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Henry Lee	07/20/2023	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/17/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	07/20/2023	N/A

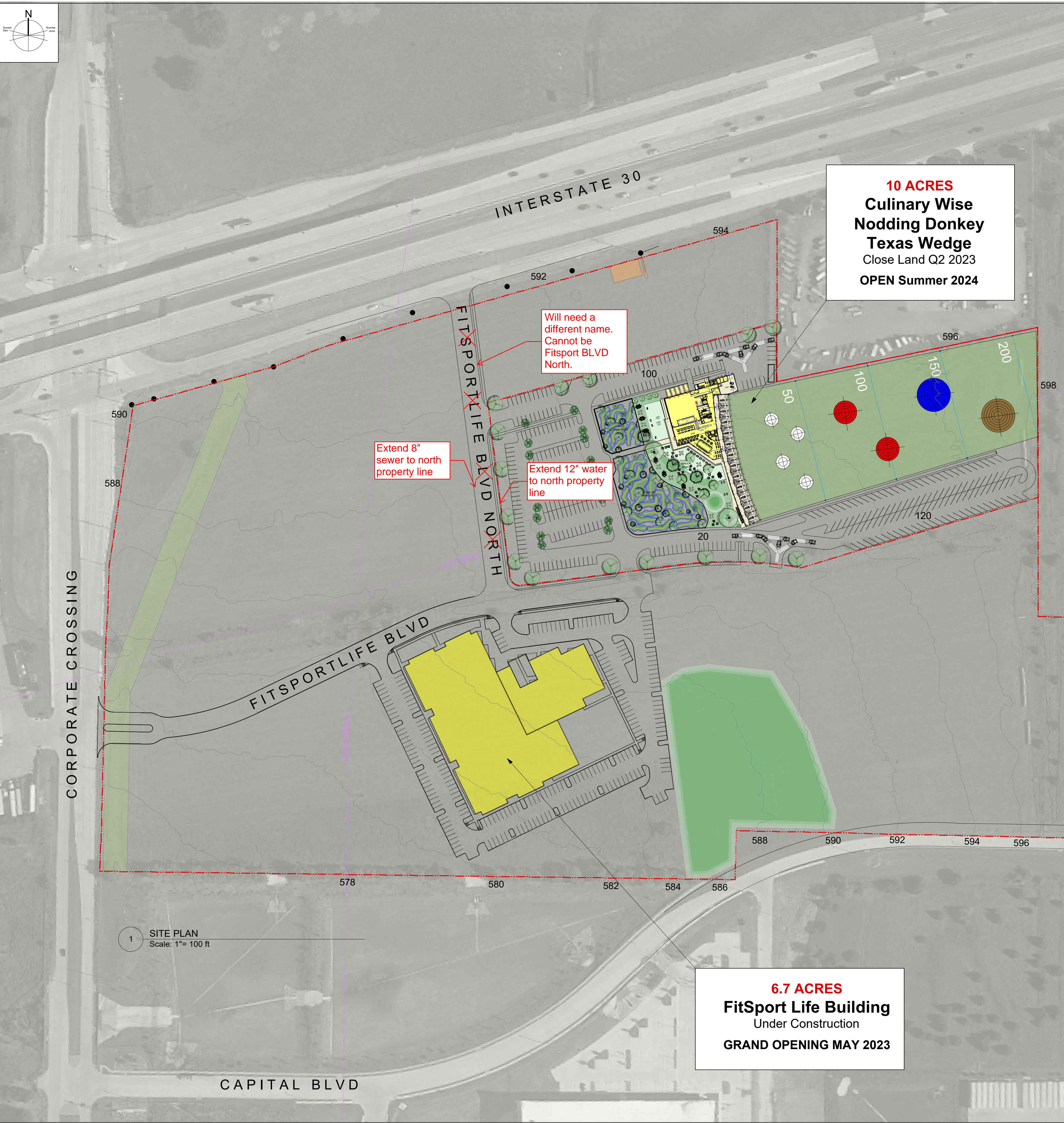
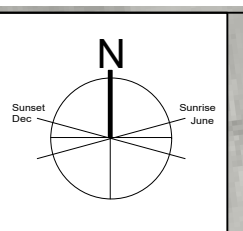


No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/19/2023	Approved

No Comments





**10 ACRES**  
**Culinary Wise**  
**Nodding Donkey**  
**Texas Wedge**  
 Close Land Q2 2023  
**OPEN Summer 2024**

Will need a different name. Cannot be Fitsport BLVD North.

Extend 8" sewer to north property line

Extend 12" water to north property line

1 SITE PLAN  
 Scale: 1"= 100 ft

**6.7 ACRES**  
**FitSport Life Building**  
 Under Construction  
**GRAND OPENING MAY 2023**

**General Items:**

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock, stone, or stone face. No smooth concrete walls.
- Need to show existing/proposed water and sewer on site plan

**Roadway Paving Items:**

- Need to label dimension off all parking, driveways, and drive aisles on site plan
- Parking to be 20'x9'
- Drive isles to be min. 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.
- Must build your frontage of "New" road. (60' ROW, 41' B-B paving total)
- Must submit a TIA for roadway connecting to IH-30 (with review fees)
- Install 5' sidewalk along "New" road on property side

**Water and Wastewater Items:**

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have a grease trap of oil/water separator for the dumpster drainage and must connect to the storm lines.
- Sewer pro-rata of \$2773.07/acre.
- Must loop a minimum of 8" water line through the site.
- Full panel concrete replacement is required for utility tie-ins.
- Minimum public sewer is 8".
- Must dedicate 10' utility easement along street frontages.
- Must install 12" water line along frontage.
- Must extend 8" sewer line to north property line across frontage
- Minimum utility easements are 20' in width.

**Drainage Items:**

- Detention is required.
- No walls allowed in detention.
- Rational Method C-value is per zoning type.
- Need to show and label detention

**Landscaping:**

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

JOB # 2207		
<b>TEXAS WEDGE FACILITY</b> ROCKWALL, TX		
SUBMISSION		
DATE	DESCRIPTION	
06.13.2023	SCHEMATIC REDESIGN	
<b>SITE PLAN - PROPOSED</b>		<b>SP-1.1</b>





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLANELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS Fit Sports Life Boulevard

SUBDIVISION Structured REA-Rockwall Land LLC

Inst. No. 2021000001622

GENERAL LOCATION 200' South and 800' East of intersection of I30 and Corporate Crossing

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING Commercial - C

CURRENT USE Undeveloped

PROPOSED ZONING Commercial - C with SUP

PROPOSED USE Restaurant & Golf

ACREAGE 9.942 acres

LOTS [CURRENT] 0

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

OWNER Structured REA-Rockwall Land LLC

APPLICANT Wier & Associates, Inc.

CONTACT PERSON Conor Keilty, AIA

CONTACT PERSON Renee Ward, P.E.

ADDRESS 2801 E Camelback Road, Ste. 200

ADDRESS 2201 E Lamar Blvd, Ste. 200E

CITY, STATE & ZIP Phoenix, Arizona 85016

CITY, STATE & ZIP Arlington, Texas 76006

PHONE (480) 603-7577

PHONE (817) 467-7700

E-MAIL conork@structuredrea.com

E-MAIL ReneeW@wierassociates.com

**NOTARY VERIFICATION [REQUIRED]**

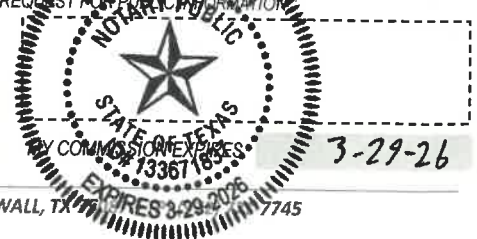
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Conor Keilty [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 349.13 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 14th DAY OF July 20 23. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND DISSEMINATE ANY INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

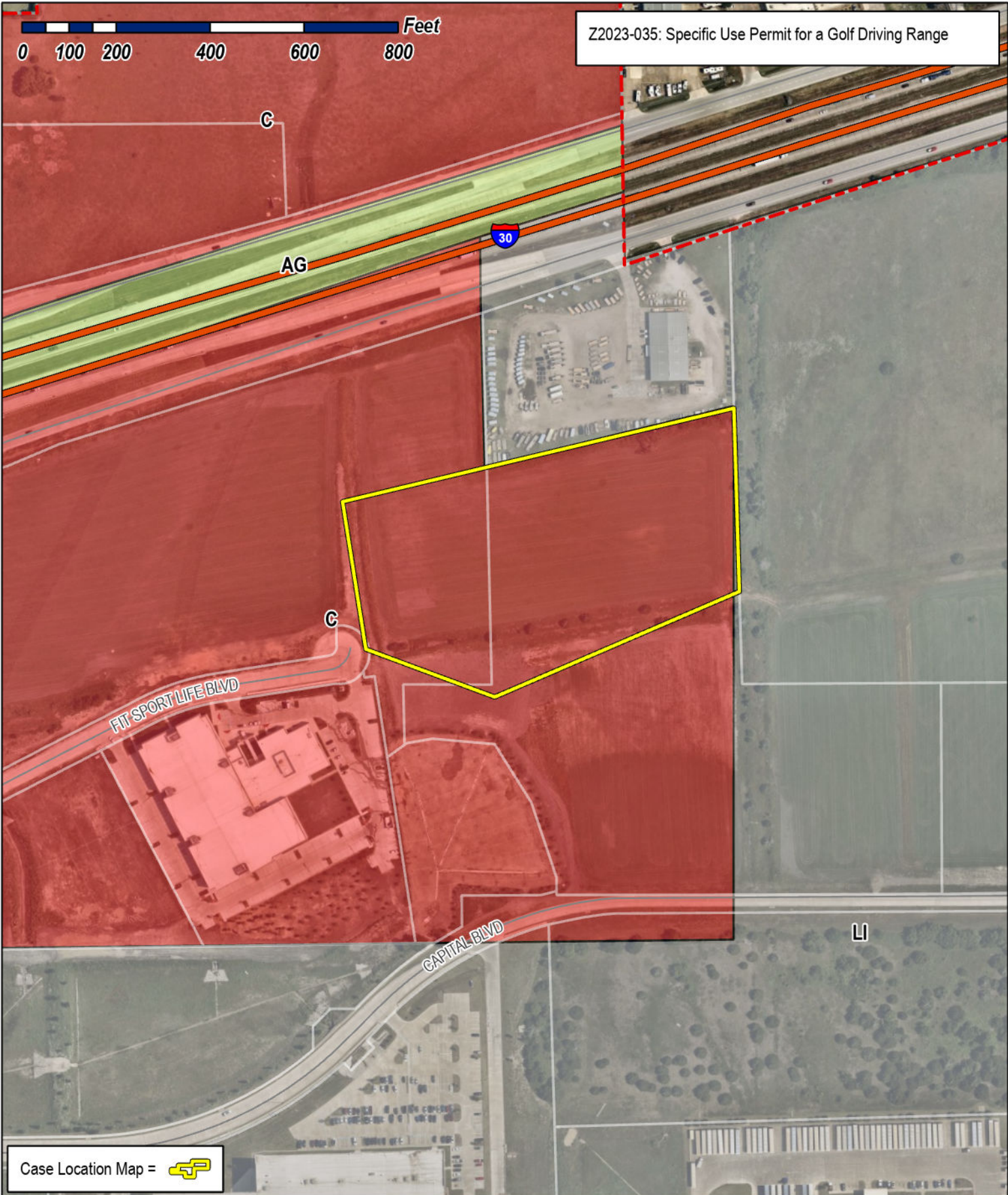
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF July 20 23.

OWNER'S SIGNATURE [Signature]


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]







Z2023-035: Specific Use Permit for a Golf Driving Range

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



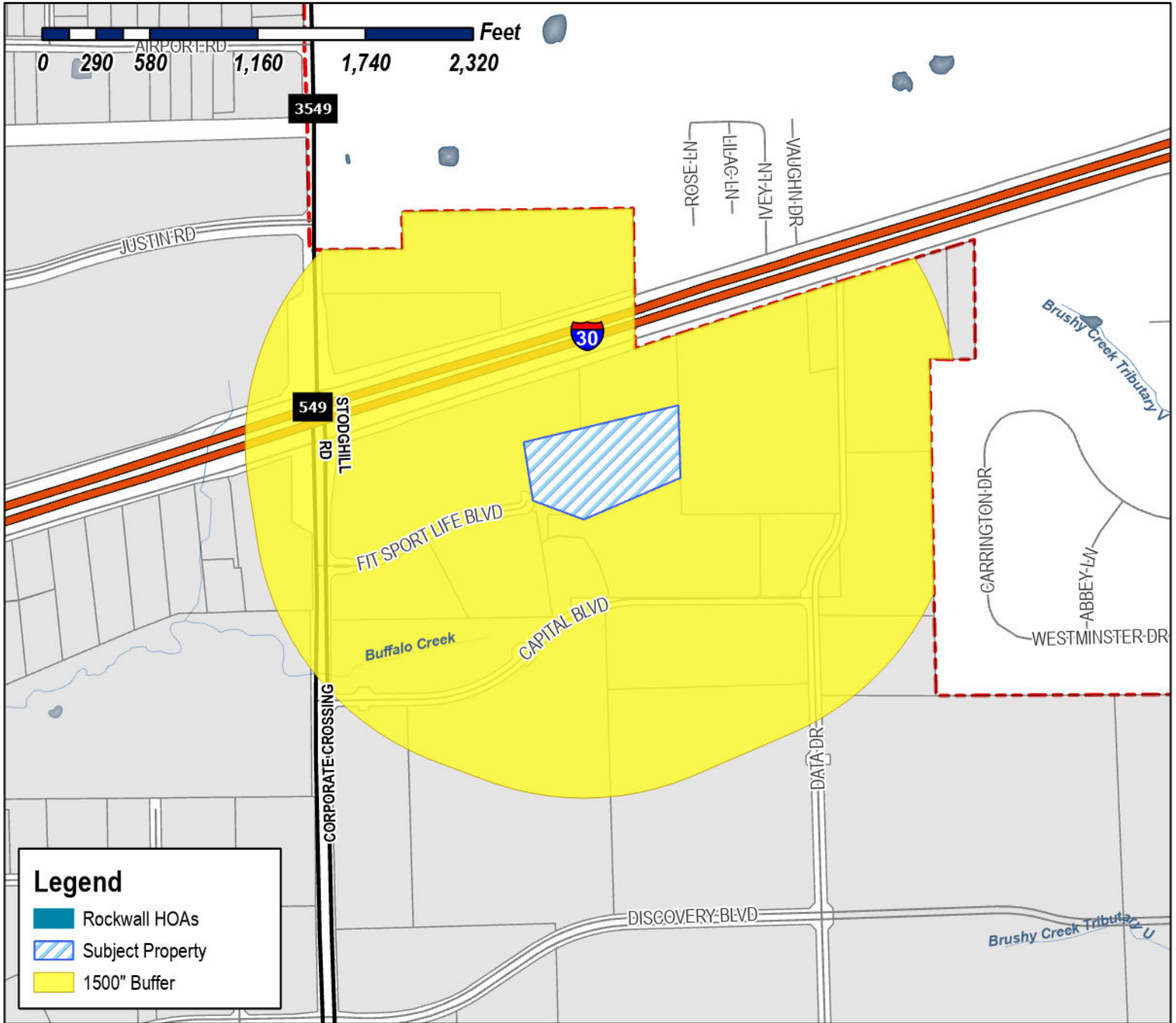




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Number:** Z2023-035  
**Case Name:** SUP for a Golf Driving Range  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District & Light Industrial (LI) District  
**Case Address:** Intersection of I-30 & Corporate Crossing

**Date Saved:** 7/21/2023  
 For Questions on this Case Call (972) 771-7745

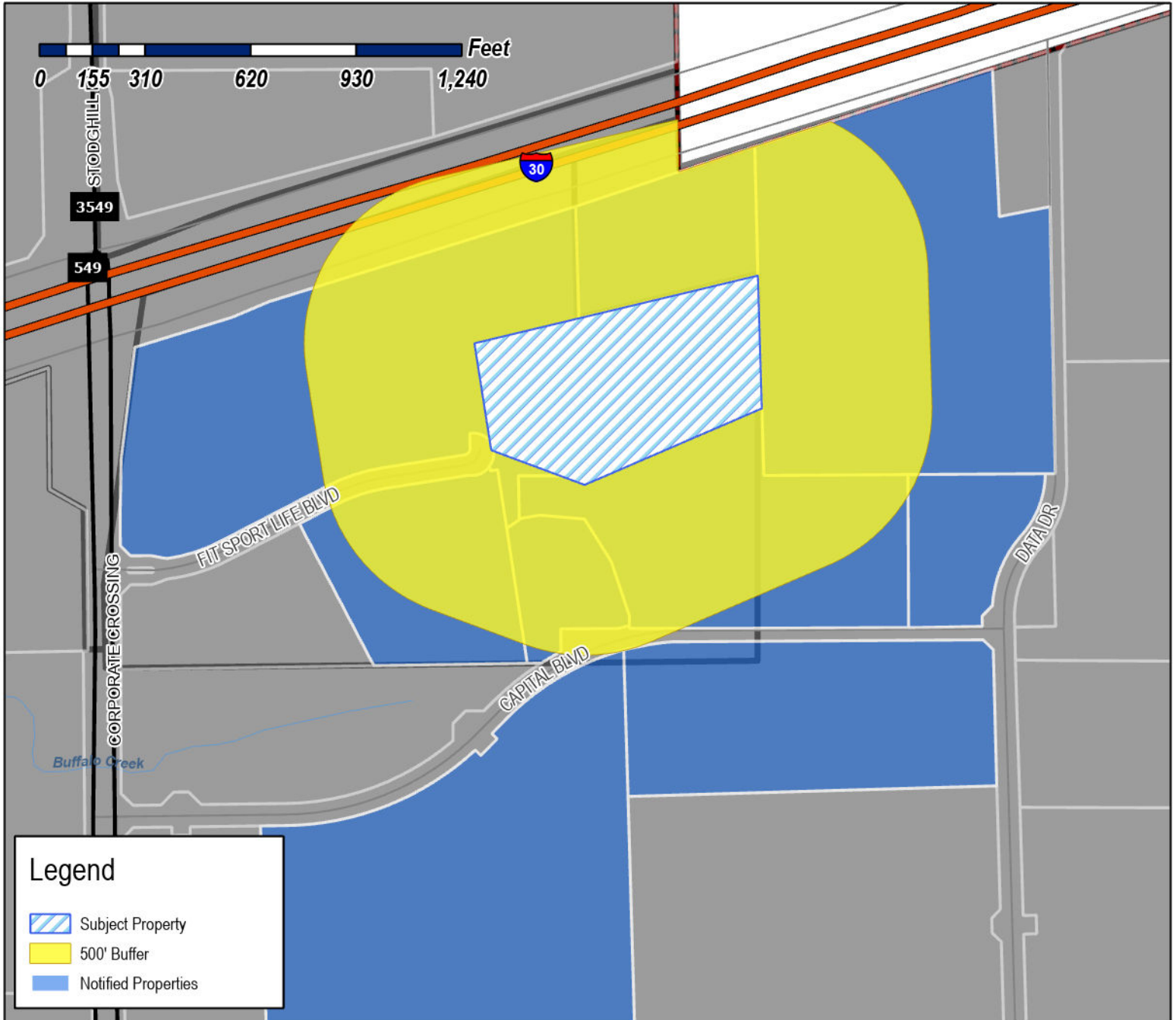




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**Case Address:** Intersection of I-30 & Corporate Crossing

**Date Saved:** 7/21/2023

For Questions on this Case Call: (972) 771-7746





CAPITAL BOULEVARD VENTURE LLC AND  
GLOBAL WELLS INVESTMENT GROUP LLC  
1225 W IMPERIAL HWY STE B  
BREA, CA 92821

WALLIS RUSTY FAMILY LTD PARTNERSHIP #2  
12277 SHILOH RD  
DALLAS, TX 75228

STRUCTURED REA FSL ROCKWALL LLC  
171 ABERDEEN STREET SUITE 400  
CHICAGO, IL 60607

RESIDENT  
2260 E I30  
ROCKWALL, TX 75032

STRUCTURED REA- ROCKWALL LAND LLC  
2801 E. CAMELBACK ROAD SUITE 200  
PHOENIX, AZ 85016

RESIDENT  
3101 FIT SPORT LIFE BLVD  
ROCKWALL, TX 75032

RESIDENT  
3201 CAPITAL BLVD  
ROCKWALL, TX 75032

ROCKWALL ECONOMIC DEVELOPMENT  
CORPORATION  
P O BOX 968  
ROCKWALL, TX 75087

JOWERS INC  
PO BOX 1870  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-035: SUP for Golf Driving Range**

Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) amending Ordinance No. 22-52 [S-287] for a Golf Driving Range on an 7.955-acre tract of land being portions of a larger 18.131-acre tract of land and a 12.868-acre tract of land identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located near the terminus of Fit Sport Life Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-035: SUP for Golf Driving Range**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)





**WIER & ASSOCIATES, INC.**

ENGINEERS  
SURVEYORS  
LAND PLANNERS

PRINCIPALS

JOHN P. WIER, P.E., R.P.L.S.  
ULYS LANE III, P.E., R.P.L.S., CFM  
CARLO SILVESTRI, P.E.  
GREGG MADSEN, R.P.L.S.  
RANDALL S. EARDLEY, P.E.

SENIOR ASSOCIATES

PHILIP L. GRAHAM, P.E.  
PRIYA ACHARYA, P.E.

ASSOCIATES

TOBY W. RODGERS  
CASEY D. YORK

July 14, 2023

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**Re: Texas Wedge at the SEC of I-30 & Corporate Crossing  
Amended Special Use Permit Request**

Dear Planning Department,

We are requesting an amended Special Use Permit for the proposed Texas Wedge, Mini Golf, The Nodding Donkey, and Culinary Wise Food Hall at the southeast corner of Interstate 30 and Corporate Crossing. The amendment is due to the property boundary increasing from 7.955 acres to 9.942 acres to include mini golf on-site. The metes and bounds description and concept/site layout plans have been adjusted for the larger property boundary. We are requesting the following zoning changes (that were included with the previously approved zoning case Z2022-041) with this amended SUP:

**Golf Driving Range**

Article 04 Section 01 of the Unified Development Code (UDC) requires a SUP for a golf driving range in the commercial zoning district.

The development plan for the proposed Texas Wedge includes a golf driving range.

We request a SUP to allow a golf driving range in the commercial zoning district.

**Netting around Golf Driving Range**

The development plan for the Texas Wedge golf driving range has proposed a 175 foot tall netting around the perimeter of the range.

We request a SUP to provide netting around the perimeter of the golf driving range.

We appreciate your acceptance of our amended Special Use Permit submittal and request your recommendation to the Planning and Zoning Commission and City Council for the approval of this amended SUP. If you have any questions or comments, please feel free to contact me at 817-467-7700 or ReneeW@WierAssociates.com.

Truly yours,

Renee Ward, PE  
Wier & Associates, Inc.  
Texas Firm Registration No. F-2776

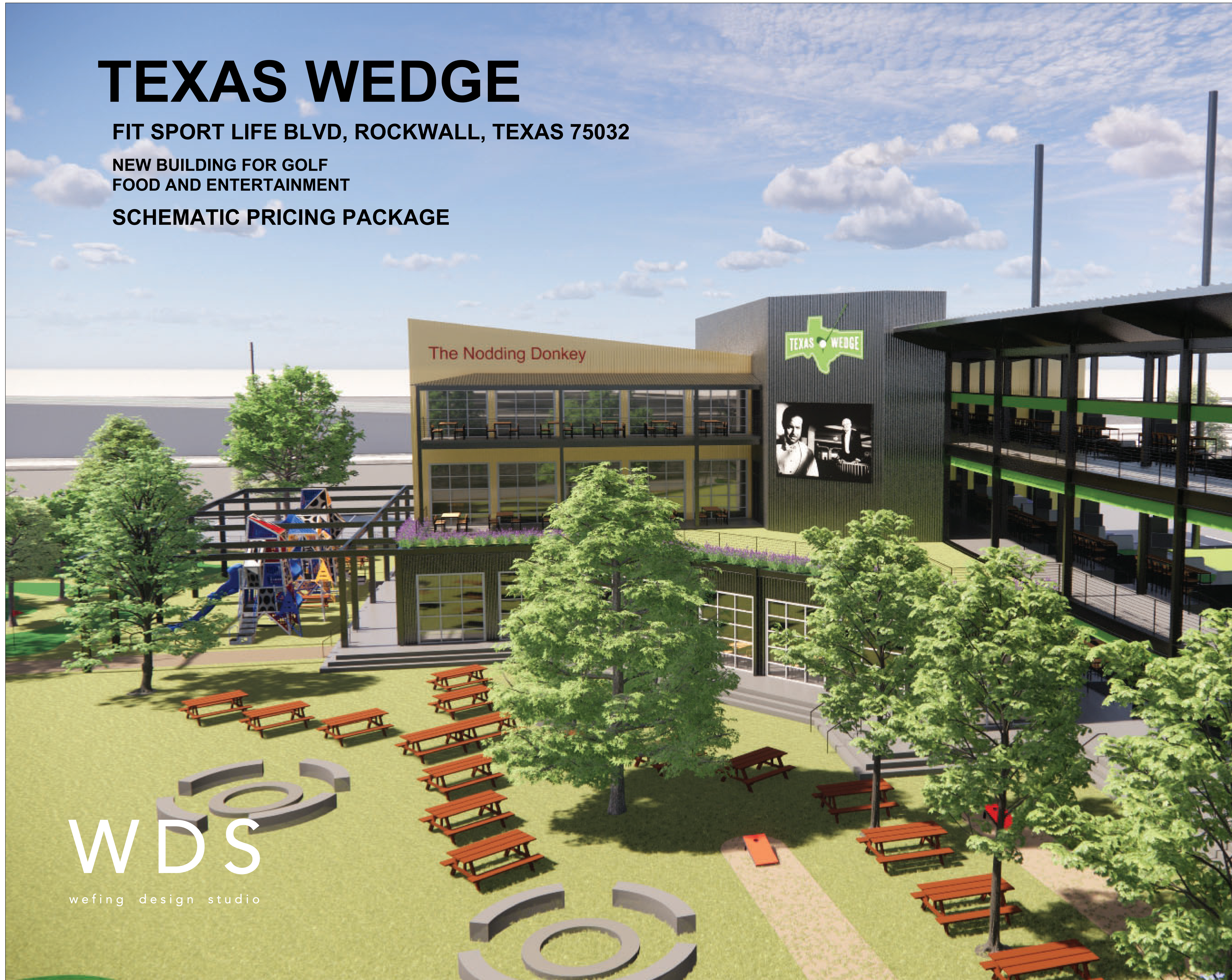


# TEXAS WEDGE

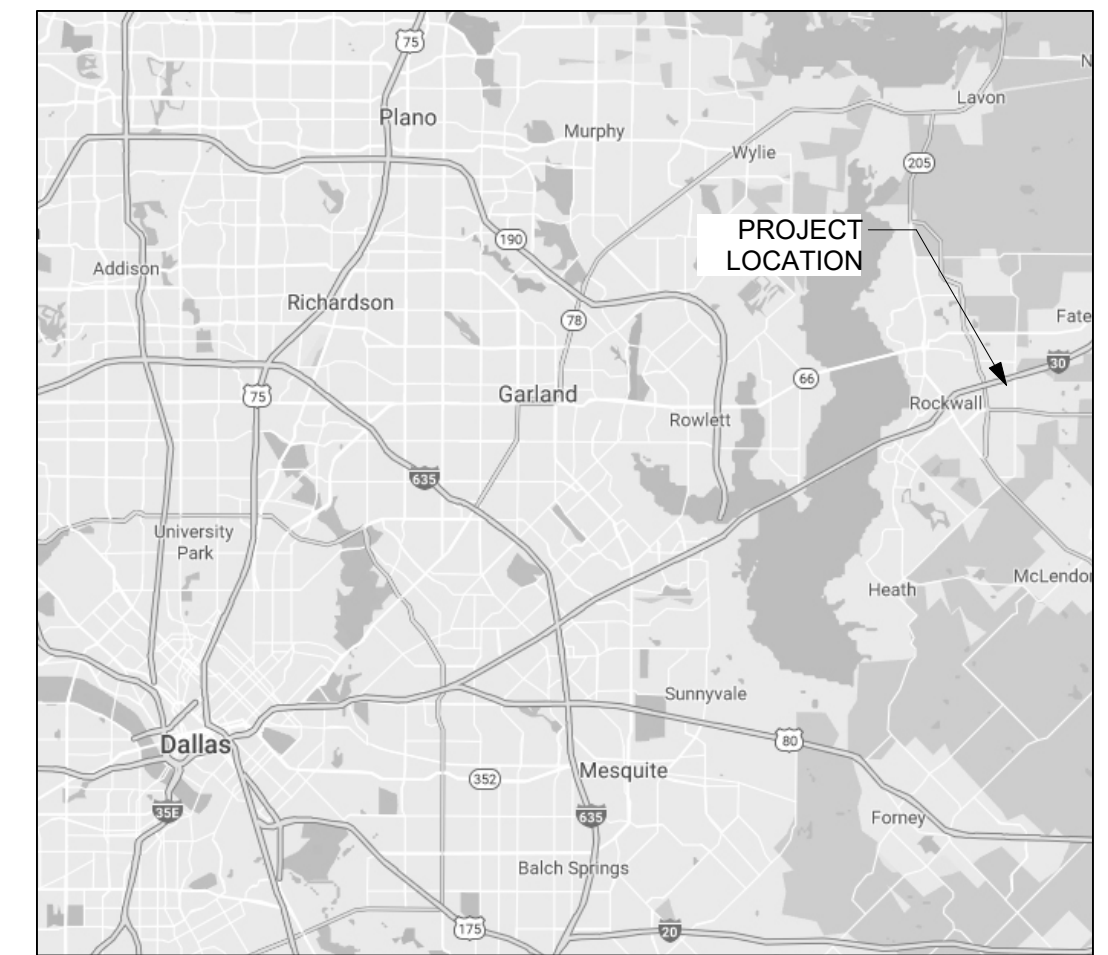
FIT SPORT LIFE BLVD, ROCKWALL, TEXAS 75032

NEW BUILDING FOR GOLF  
FOOD AND ENTERTAINMENT

SCHEMATIC PRICING PACKAGE



**WDS**  
wefing design studio



VICINITY MAP

## DRAWING LIST

- T - 1.0 TITLE SHEET
- SP - 1.0 SITE PLAN - EXISTING
- SP - 1.1 SITE PLAN - PROPOSED
- SP - 1.2 SITE PLAN - PROPOSED ENLARGED
- SP - 1.3 GREEN SPACES
- SP - 1.4 ADULT GREEN SPACES
- SP - 1.5 KID SPACES
- SP - 1.6 GOLF RANGE
- A - 1.1 FIRST FLOOR PLAN
- A - 1.2 SECOND FLOOR PLAN
- A - 1.3 THIRD FLOOR PLAN
- A - 1.4 PLANS 1-3
- A - 2.0 ELEVATION/SECTION - NORTH
- A - 2.1 ELEVATION/SECTION - SOUTH
- A - 2.2 ELEVATION/SECTION - WEST

**WDS**

410 SOUTH MICHIGAN AVE SUITE 512  
CHICAGO ILLINOIS 60605  
312.583.7087 ERICH@WDS-AD.COM

JOB # 2207

**TEXAS WEDGE FACILITY**  
ROCKWALL, TX

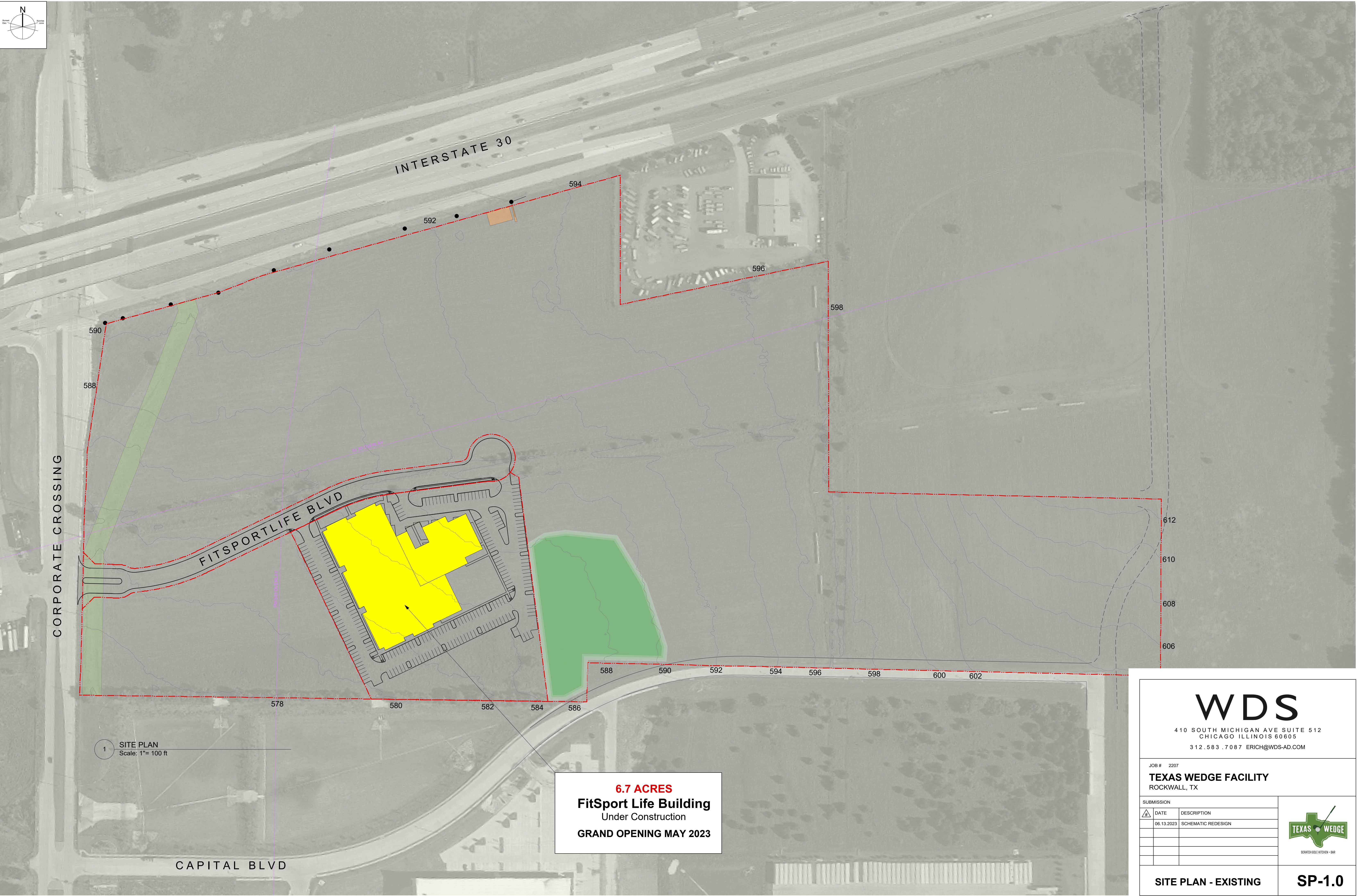
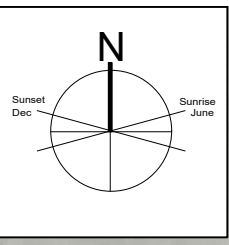
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TITLE SHEET

T-1.0





1 SITE PLAN  
Scale: 1"= 100 ft

**6.7 ACRES**  
**FitSport Life Building**  
Under Construction  
**GRAND OPENING MAY 2023**

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ROCKWALL, TX

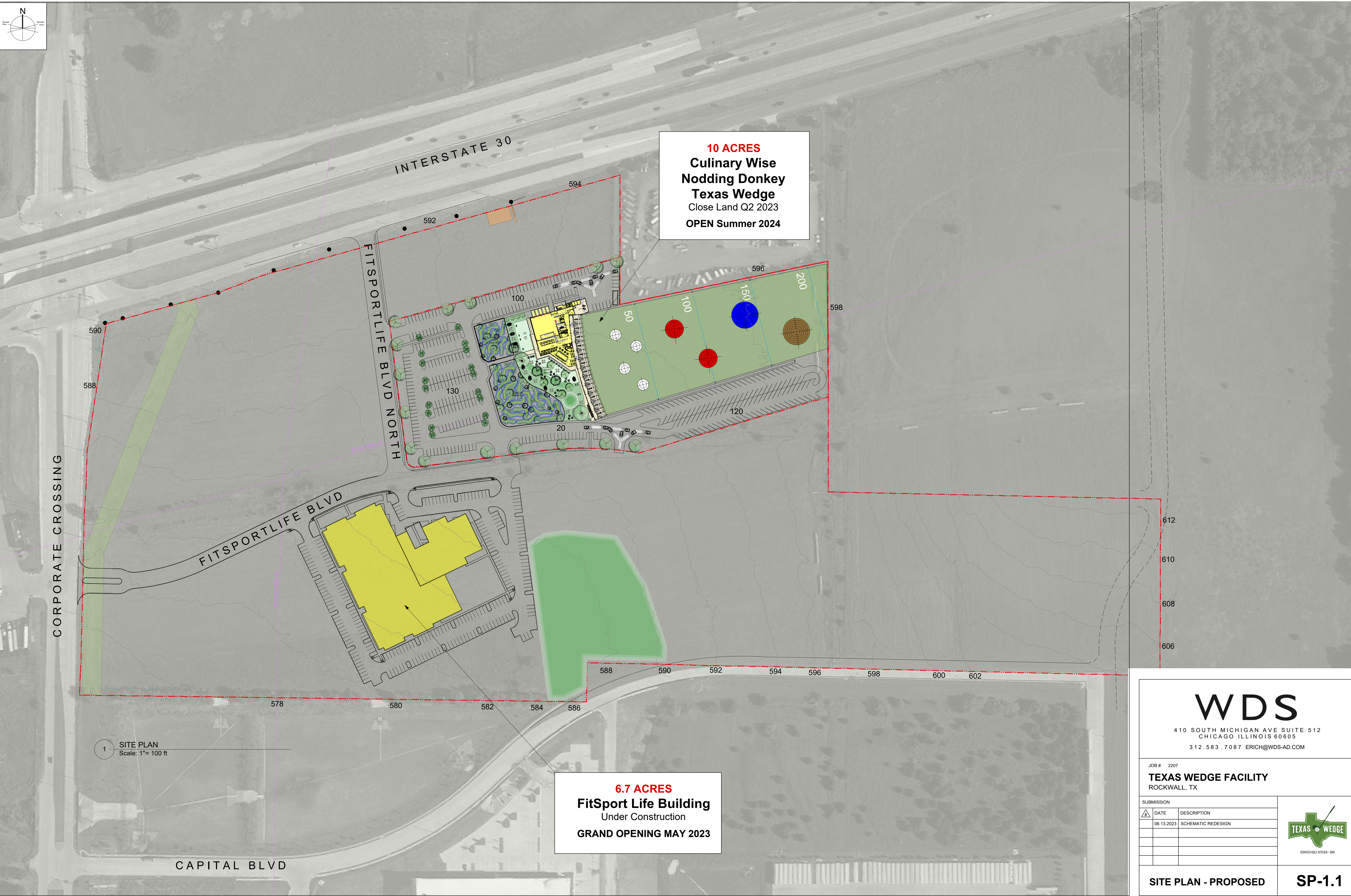
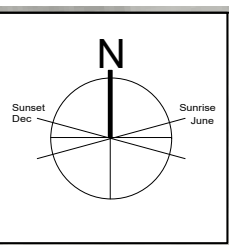
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DATE	DESCRIPTION
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**SITE PLAN - EXISTING**

**SP-1.0**





**10 ACRES**  
**Culinary Wise**  
**Nodding Donkey**  
**Texas Wedge**  
 Close Land Q2 2023  
**OPEN Summer 2024**

**6.7 ACRES**  
**FitSport Life Building**  
 Under Construction  
**GRAND OPENING MAY 2023**

1 **SITE PLAN**  
 Scale: 1"= 100 ft

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**SITE PLAN - PROPOSED** **SP-1.1**



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## TEXAS WEDGE FACILITY ROCKWALL, TX

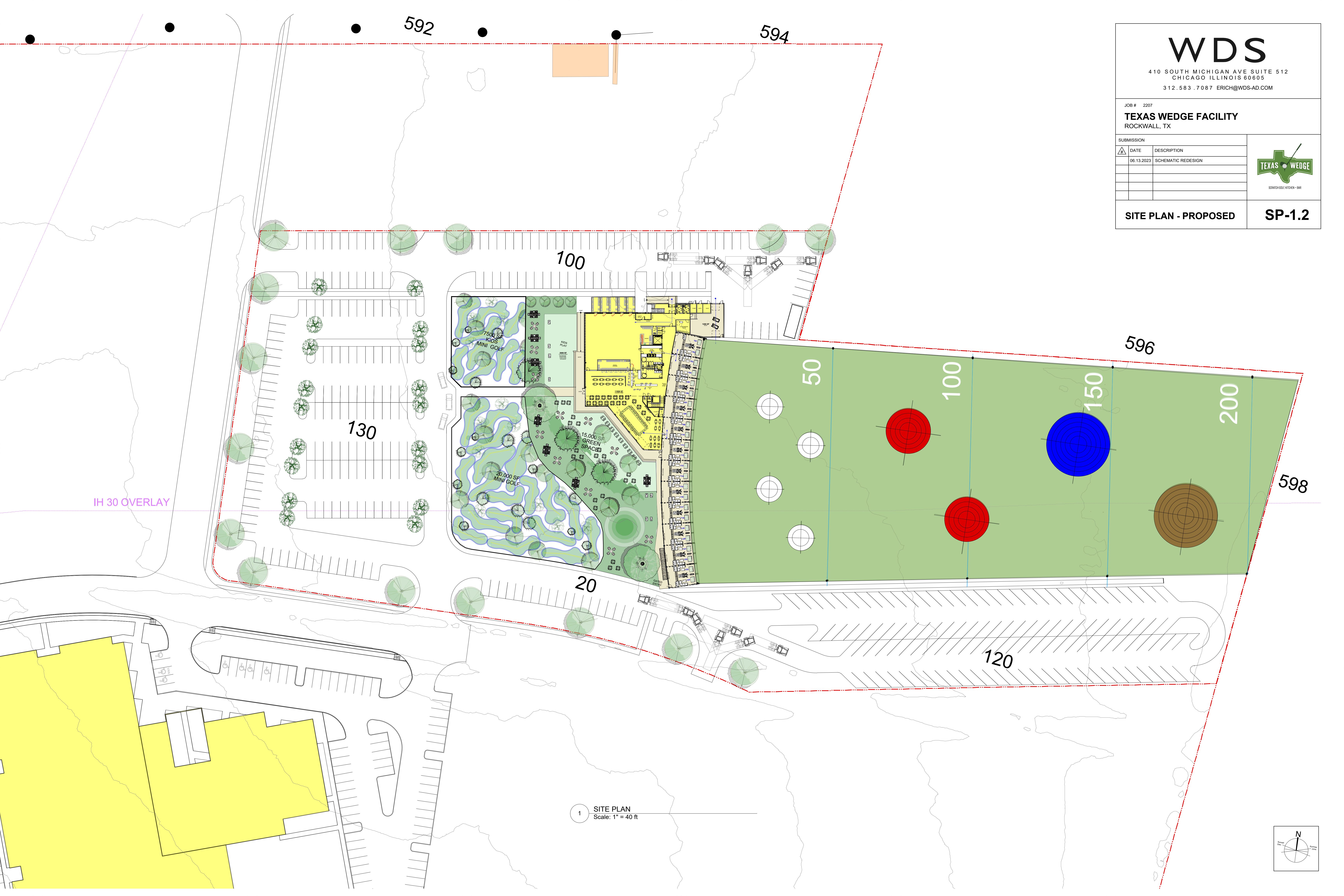
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DATE	DESCRIPTION
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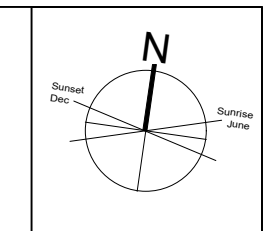
SITE PLAN - PROPOSED

SP-1.2



1 SITE PLAN  
Scale: 1" = 40 ft





130

100

50

20

1 PLAN  
Scale: 1" = 20 ft

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**TEXAS WEDGE FACILITY**  
ROCKWALL, TX

SUBMISSION	
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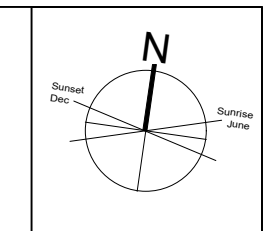
**GREEN SPACES**

**SP-1.3**









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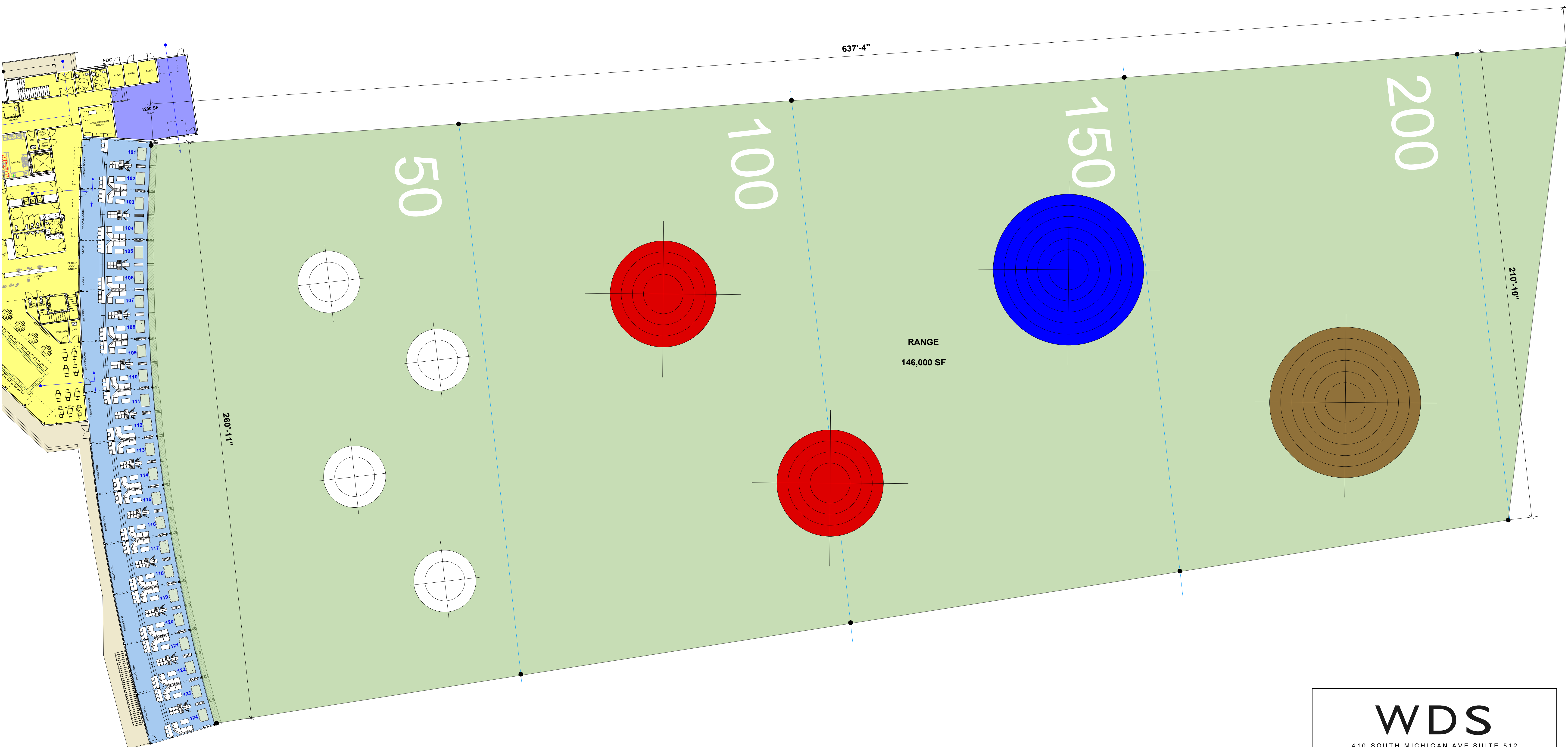
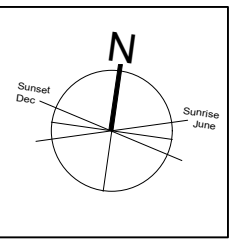
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**ADULT GREEN SPACES** **SP-1.4**





3 RANGE PLAN  
Scale: 1" = 20 ft

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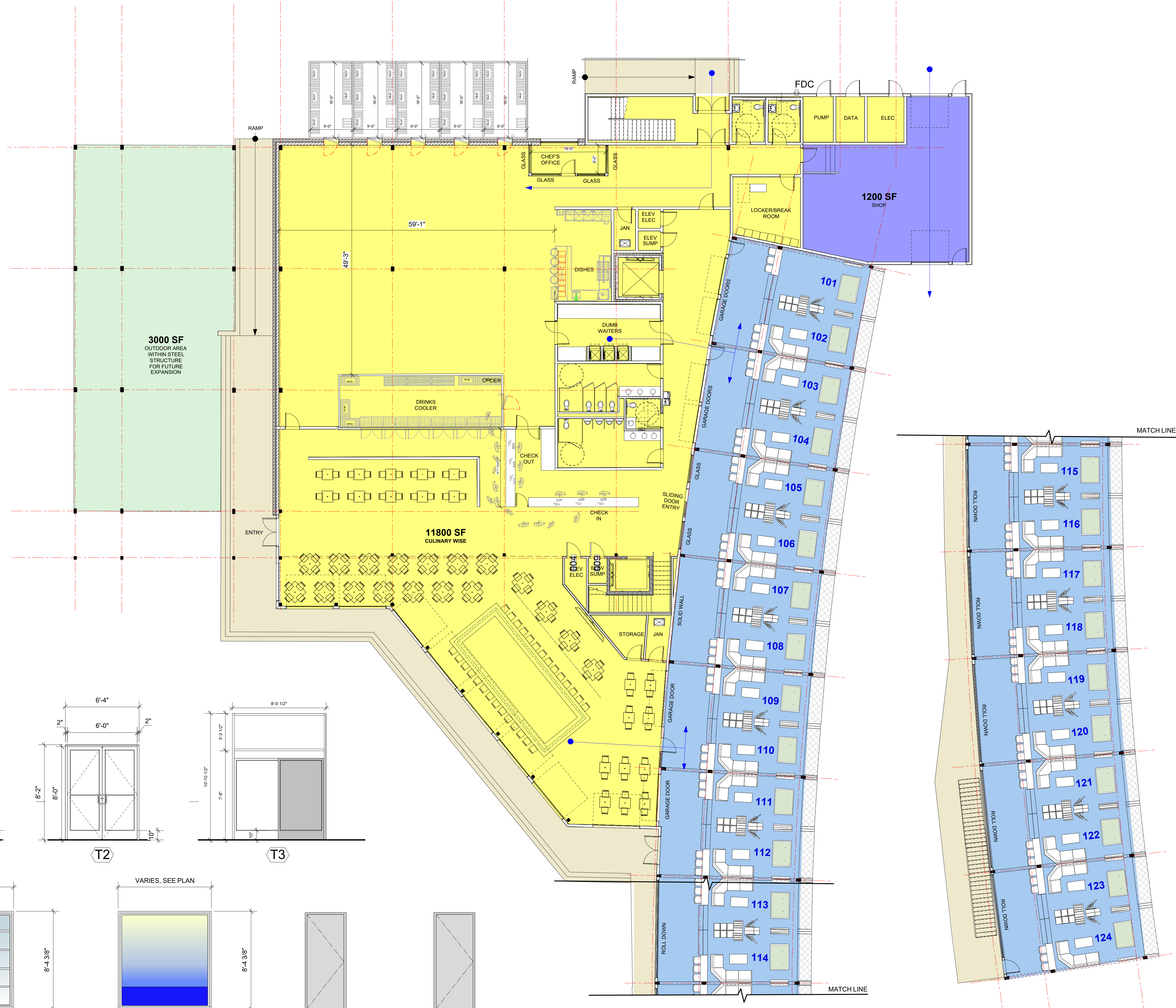
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GOLF RANGE



SP-1.6





WALL TYPE **A**

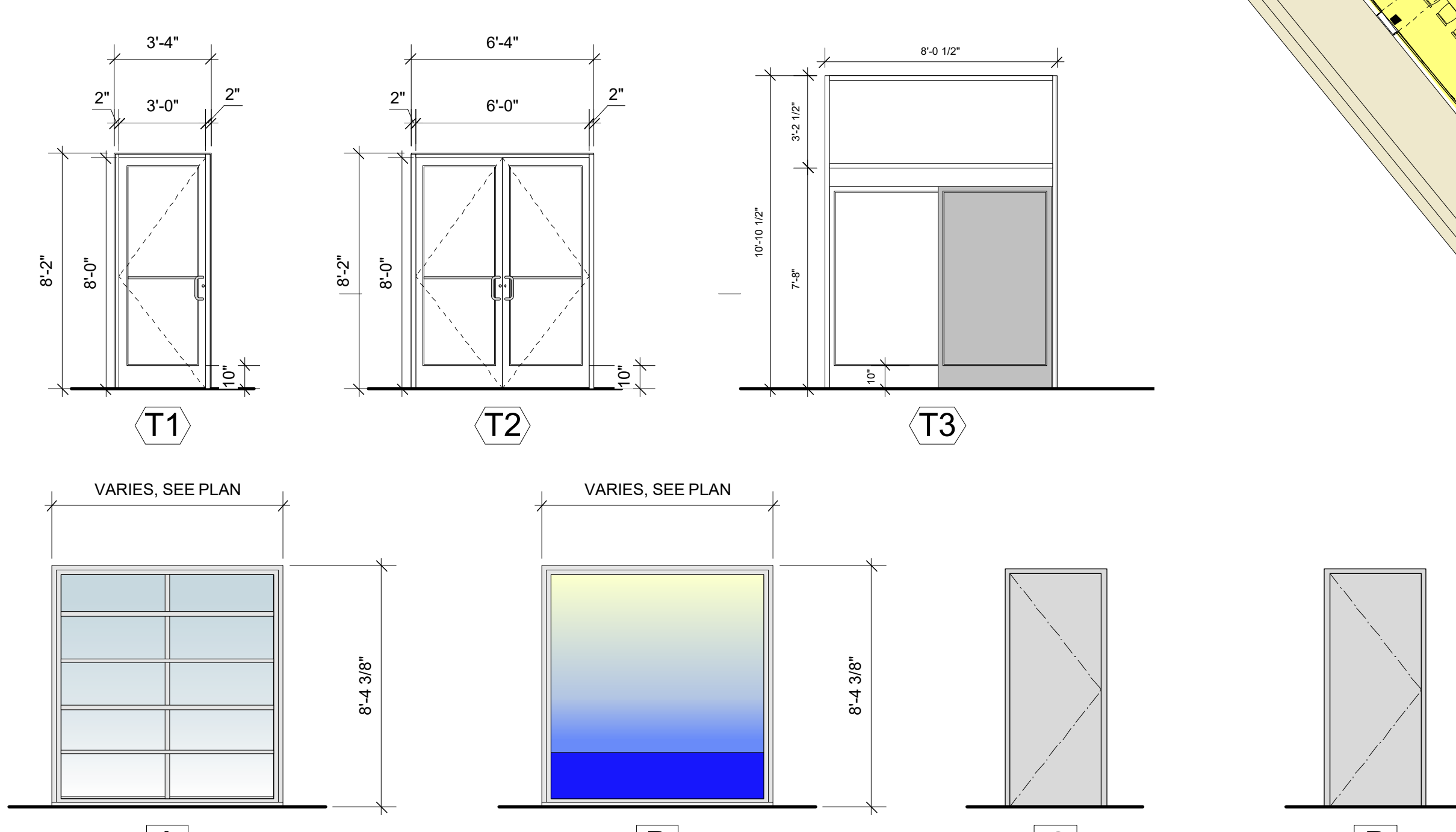
WALL TYPE **B**

ROOF TYPE **A**

- 7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL
- ALUMINUM ST CLIP
- POLYISO THERMAL INSULATION (R-21)
- CONTINUOUS FULLY ADHERED AIR / VAPOR CONTROL LAYER
- METAL DECK - 7.2 METAL CORRUGATED METAL PANEL RE: STRUCTURAL
- ROOF PURLINS - STEEL TUBES RE: STRUCTURAL

ROOF TYPE **B**

- 7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL



**A** CLOPAY 903 ARCHITECTURAL OVERHEAD DOOR ALUMINUM FRAME CLEAR ACRYLIC PANEL POLYZONE SILVER20XTRA FILM, SHGC .19 MECHANICALLY OPERATED MAX 0.90 U-FACTOR PER IECC 2018

**B** PROGRESSIVE COMMERCIAL SCREEN

**C** EXTERIOR SINGLE LEAF 1-3/4" HOLLOW METAL DOOR 2" METAL FRAME WIDTH MAX 0.90 U-FACTOR PER IECC 2018

**D** INTERIOR SINGLE LEAF 1-3/4" HOLLOW METAL DOOR 2" METAL FRAME WIDTH

**1** PLAN Scale: 1" = 10 ft

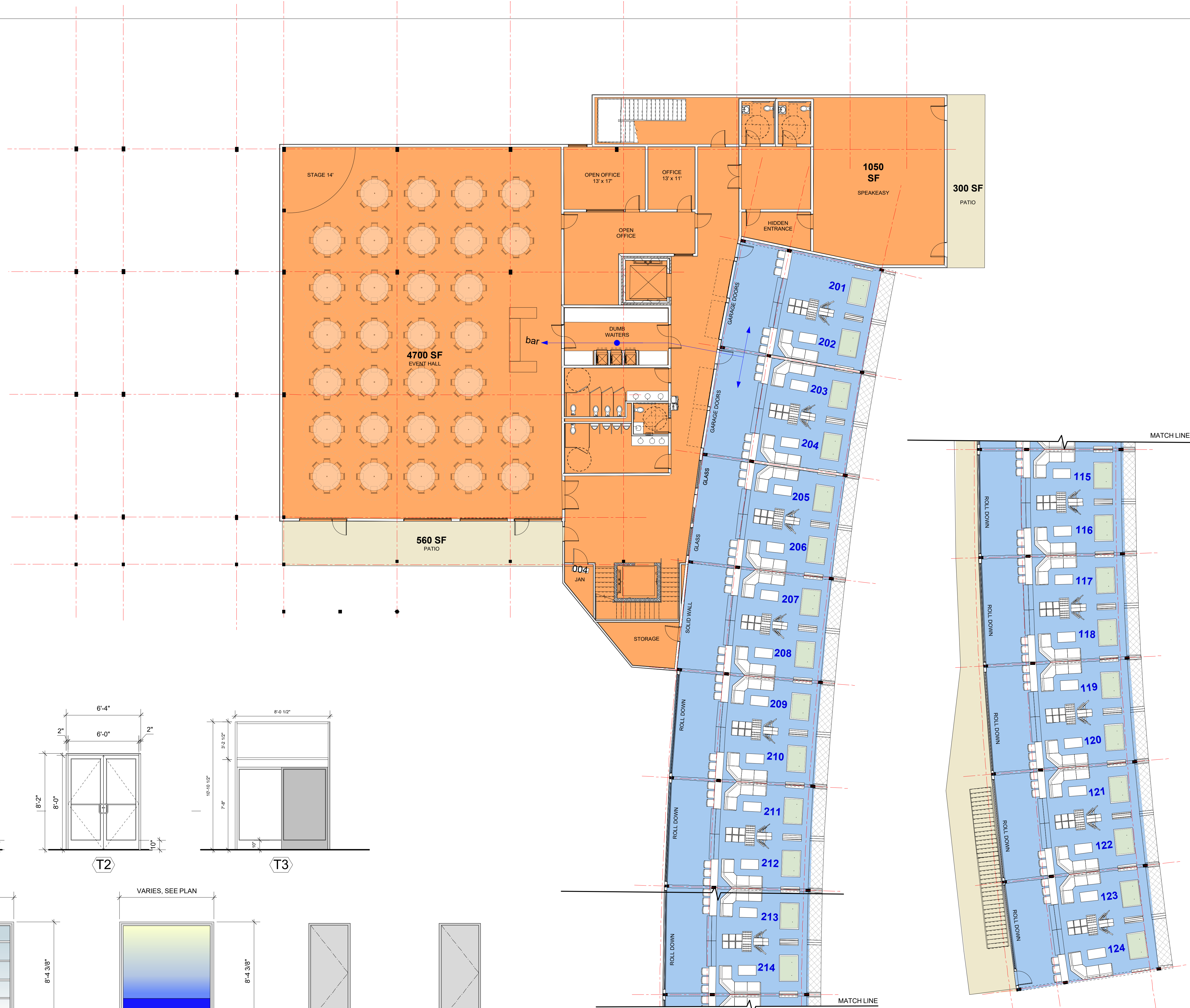
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 ROCKWALL, TX

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WALL TYPE **A**

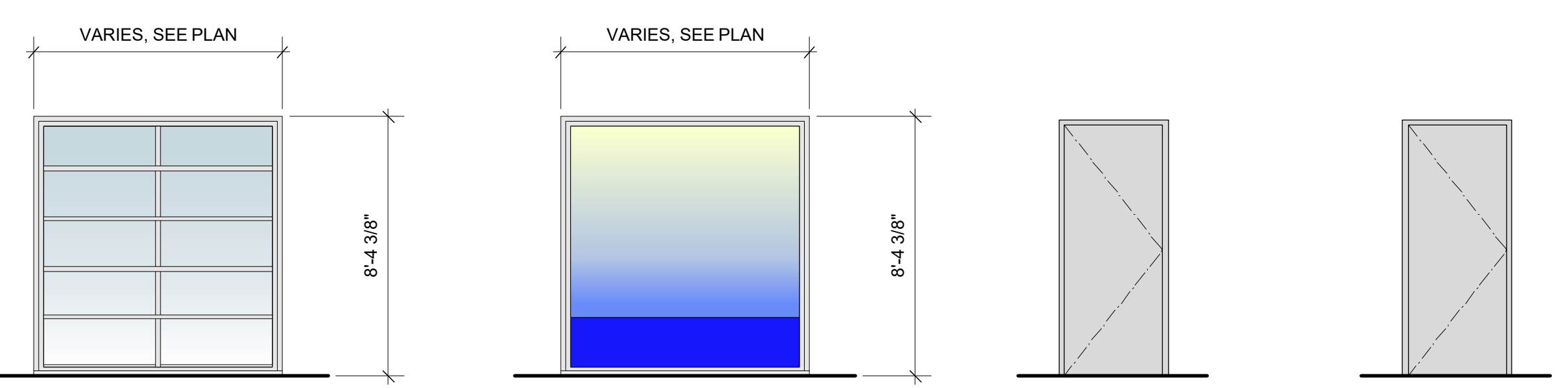
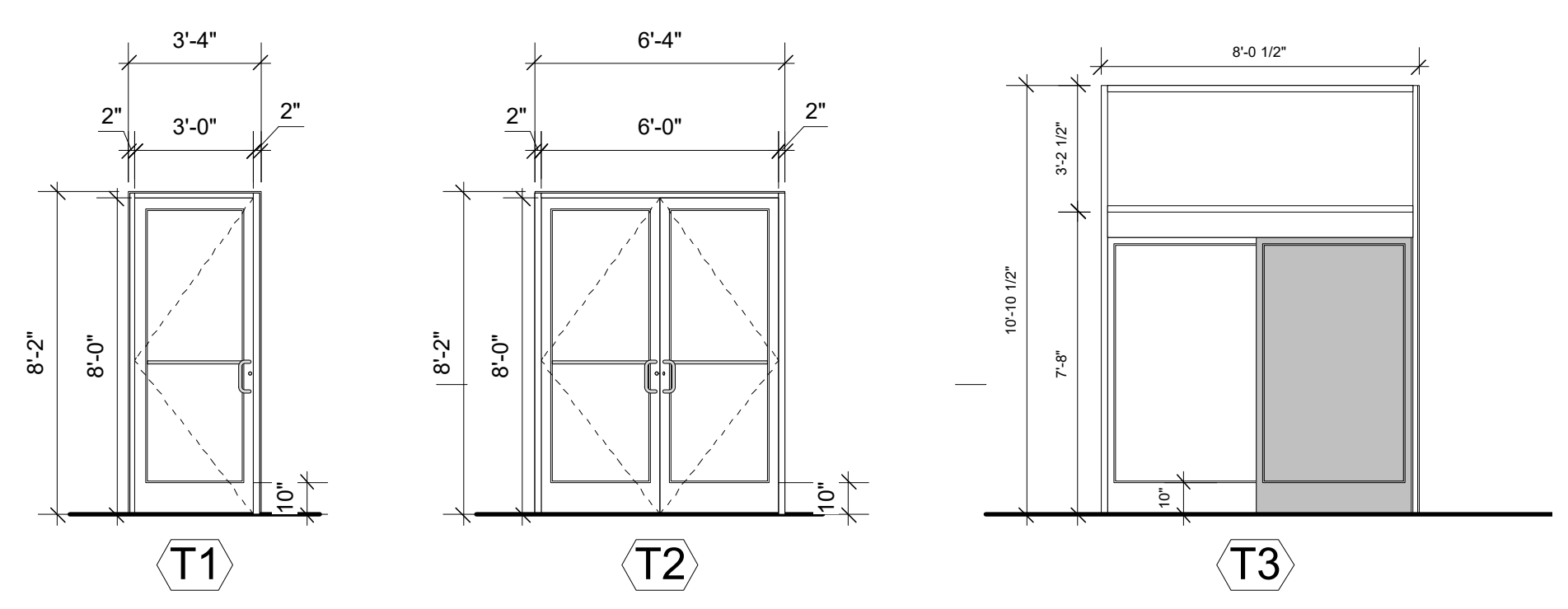
WALL TYPE **B**

ROOF TYPE **A**

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL  
 ALUMINUM ST CLIP  
 POLYISO THERMAL INSULATION (R-21)  
 CONTINUOUS FULLY ADHERED AIR / VAPOR CONTROL LAYER  
 METAL DECK - 7.2 METAL CORRUGATED METAL PANEL  
 RE: STRUCTURAL  
 ROOF PURLINS - STEEL TUBES  
 RE: STRUCTURAL

ROOF TYPE **B**

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL



**A** CLOPAY 903 ARCHITECTURAL OVERHEAD DOOR  
 ALUMINUM FRAME  
 CLEAR ACRYLIC PANEL  
 POLYZONE SILVER20XTRA FILM, SHGC .19  
 MECHANICALLY OPERATED  
 MAX 0.90 U-FACTOR PER  
 IECC 2018

**B** PROGRESSIVE COMMERCIAL  
 SCREEN

**C** EXTERIOR SINGLE LEAF  
 1-3/4" HOLLOW  
 METAL DOOR  
 2" METAL FRAME WIDTH  
 MAX 0.90 U-FACTOR PER  
 IECC 2018

**D** INTERIOR SINGLE LEAF  
 1-3/4" HOLLOW  
 METAL DOOR  
 2" METAL FRAME WIDTH

1 PLAN  
 Scale: 1" = 10 ft

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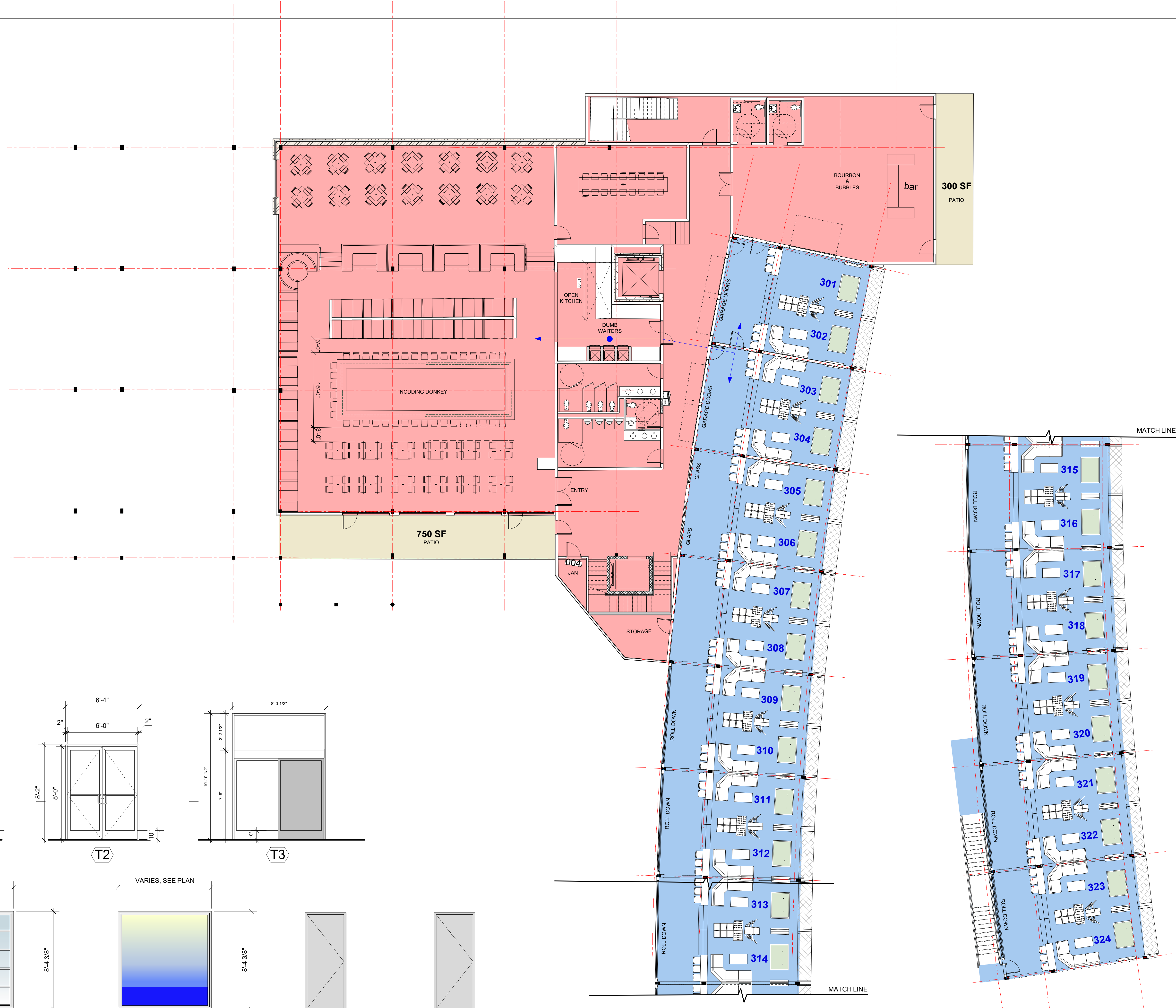
JOB # 2207  
**TEXAS WEDGE FACILITY**  
 ROCKWALL, TX

DATE	DESCRIPTION
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**SECOND FLOOR PLAN** **A-1.2**





WALL TYPE **A**

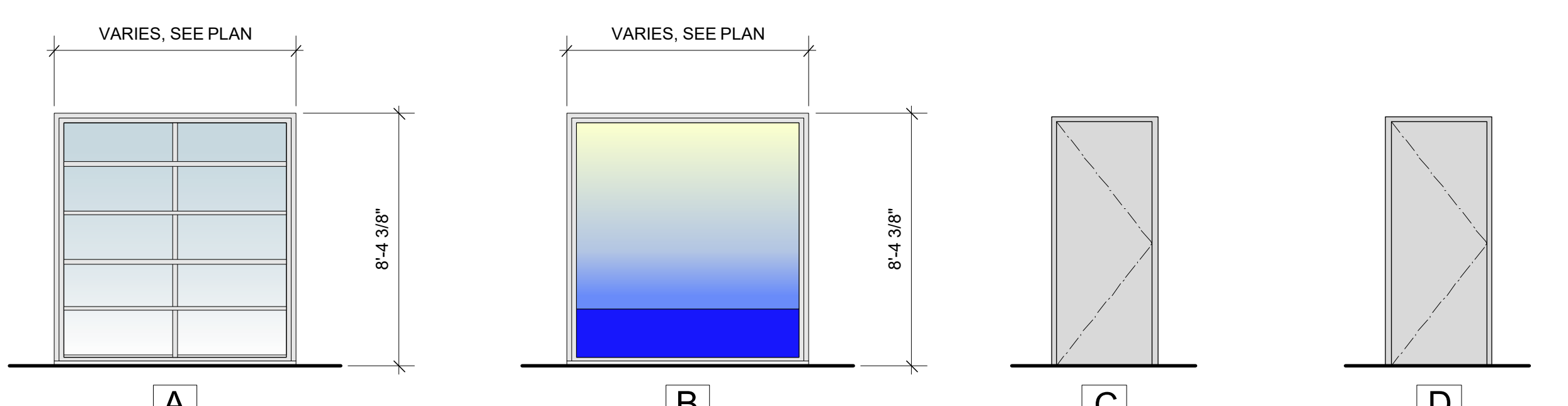
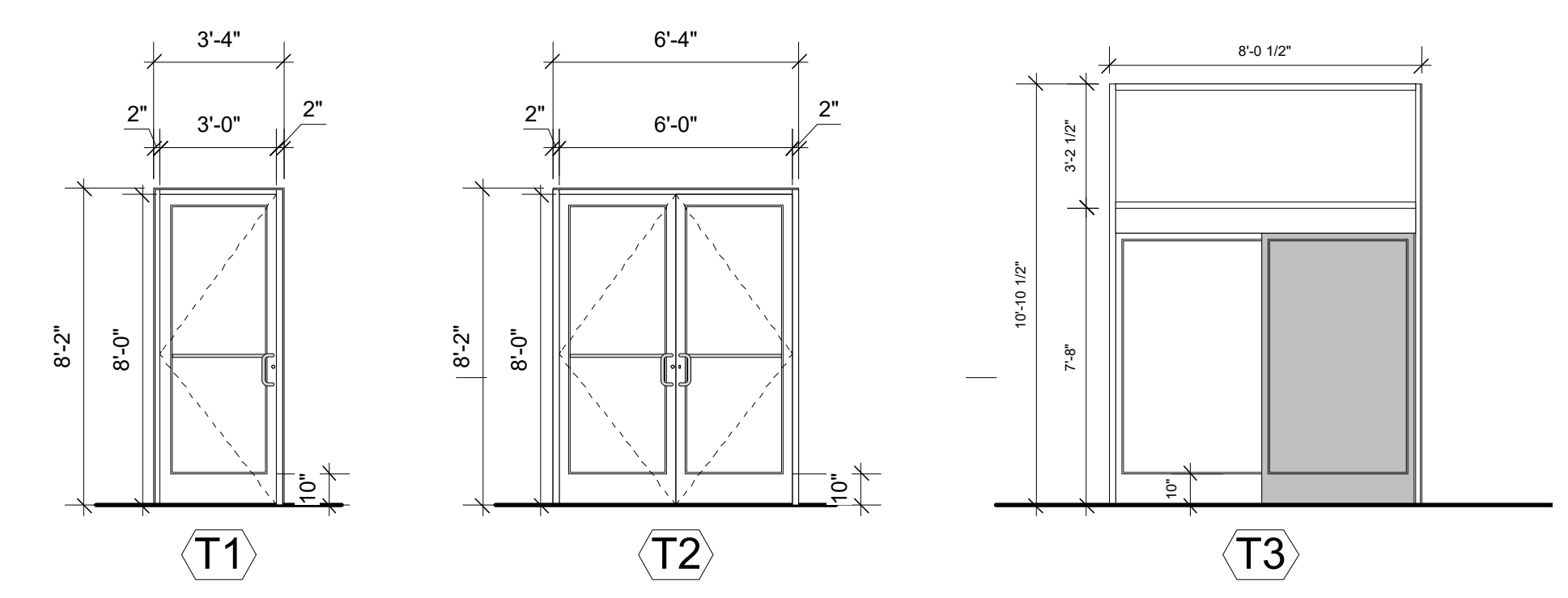
WALL TYPE **B**

ROOF TYPE **A**

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL  
 ALUMINUM ST CLIP  
 POLYISO THERMAL INSULATION (R-21)  
 CONTINUOUS FULLY ADHERED AIR / VAPOR CONTROL LAYER  
 METAL DECK - 7.2 METAL CORRUGATED METAL PANEL  
 RE: STRUCTURAL  
 ROOF PURLINS - STEEL TUBES  
 RE: STRUCTURAL

ROOF TYPE **B**

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL



**A** CLOPAY 903 ARCHITECTURAL OVERHEAD DOOR  
 ALUMINUM FRAME  
 CLEAR ACRYLIC PANEL  
 POLYZONE SILVER20XTRA FILM, SHGC .19  
 MECHANICALLY OPERATED  
 MAX 0.90 U-FACTOR PER IECC 2018

**B** PROGRESSIVE COMMERCIAL SCREEN

**C** EXTERIOR SINGLE LEAF  
 1-3/4" HOLLOW METAL DOOR  
 2" METAL FRAME WIDTH  
 MAX 0.90 U-FACTOR PER IECC 2018

**D** INTERIOR SINGLE LEAF  
 1-3/4" HOLLOW METAL DOOR  
 2" METAL FRAME WIDTH

1 PLAN  
 Scale: 1" = 10 ft

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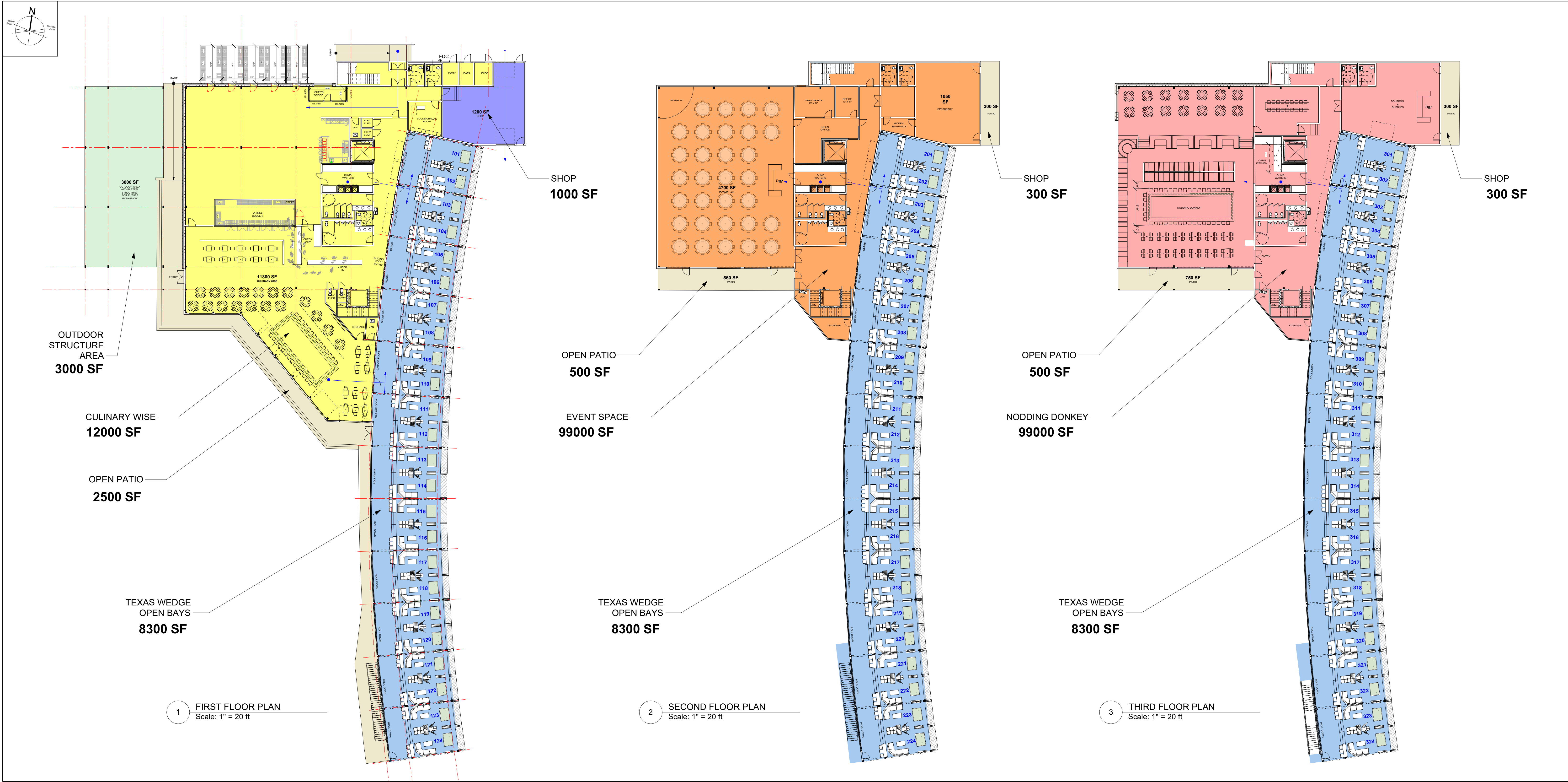
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**THIRD FLOOR PLAN**

**A-1.3**





1 FIRST FLOOR PLAN  
Scale: 1" = 20 ft

2 SECOND FLOOR PLAN  
Scale: 1" = 20 ft

3 THIRD FLOOR PLAN  
Scale: 1" = 20 ft

	CONDITIONED	UNCONDITIONED
<span style="display:inline-block; width:15px; height:15px; background-color:yellow;"></span> CULINARY WISE	12000	
<span style="display:inline-block; width:15px; height:15px; background-color:orange;"></span> EVENT SPACE	9900	
<span style="display:inline-block; width:15px; height:15px; background-color:lightcoral;"></span> NODDING DONKEY	9900	
<span style="display:inline-block; width:15px; height:15px; background-color:lightblue;"></span> TEXAS WEDGE - BAYS		24900
<span style="display:inline-block; width:15px; height:15px; background-color:lightyellow;"></span> OPEN PATIO		3500
<span style="display:inline-block; width:15px; height:15px; background-color:blue;"></span> SHOP		1000
<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen;"></span> OUTDOOR STRUCTURE AREA		3000
	<b>31800</b>	<b>32400</b>

# WDS

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TEXAS WEDGE FACILITY  
ROCKWALL, TX

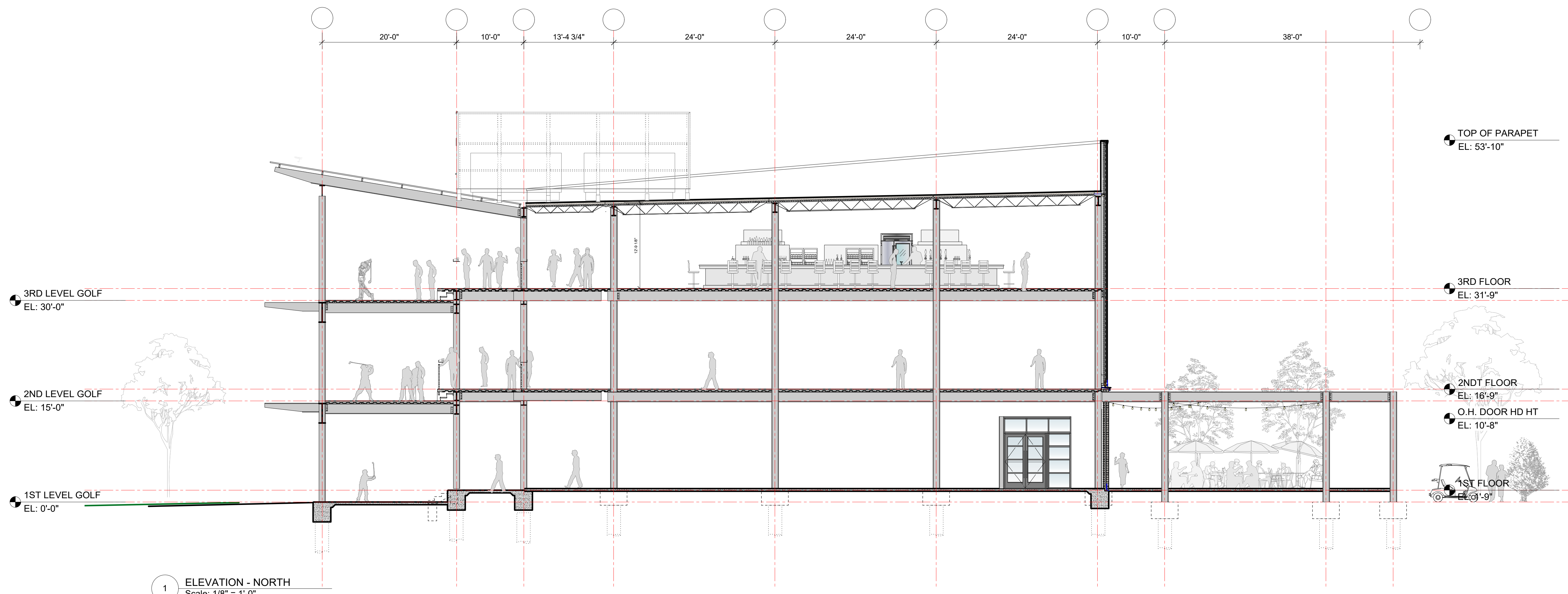
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06.13.2023	SCHEMATIC REDESIGN

PLANS

BRITNEY GALE KITCHEN - BAR

A-1.4





1 ELEVATION - NORTH  
Scale: 1/8" = 1'-0"

**WALL TYPE A**

ANCHORED BRICK VENEER- ADJUSTABLE WALL TIES AT 16" O.C. VERTICALLY AND 24" O.C HORIZONTALLY

2" AIR SPACE

CAVITY INSERT/MORTAR COLLECTION DEVICE

WEEP VENTS

2" CONT. XPS RIGID INSULATION W/ DRAINAGE CHANNELS

FLUID-APPLIED AIR/WATER/VAPOR INFILTRATION BARRIER

5/8" EXTERIOR GRADE GYPSUM SHEATHING

6" METAL STUDS STUDS AT 16" O.C.

R-13 UNFACED FIBERGLASS BATT

5/8" GYPSUM BOARD W/ PAINT

**WALL TYPE B**

VERTICAL CORRUGATED METAL PANELS - BRIDGERSTEEL "ULTRA BATTEN METAL PANEL" OR APPROVED EQUAL

THERMALLY BROKEN CLADDING ATTACHMENT SYSTEM (KNIGHT WALL HCI SYSTEM OR EQUAL)

2" CONT. XPS RIGID INSULATION W/ DRAINAGE CHANNELS

FLUID-APPLIED AIR/WATER/VAPOR INFILTRATION BARRIER

5/8" EXTERIOR GRADE GYPSUM SHEATHING

6" METAL STUDS STUDS AT 16" O.C.

R-13 UNFACED FIBERGLASS BATT

5/8" GYPSUM BOARD W/ PAINT

**ROOF TYPE A**

60 MIL SINGLE PLY FULLY ADHERED TPO ROOF MEMBRANE

1/4" COVER BOARD (DENSDECK PRIME ROOF BOARD OR EQUAL)

POLYISO THERMAL INSULATION (R-21)

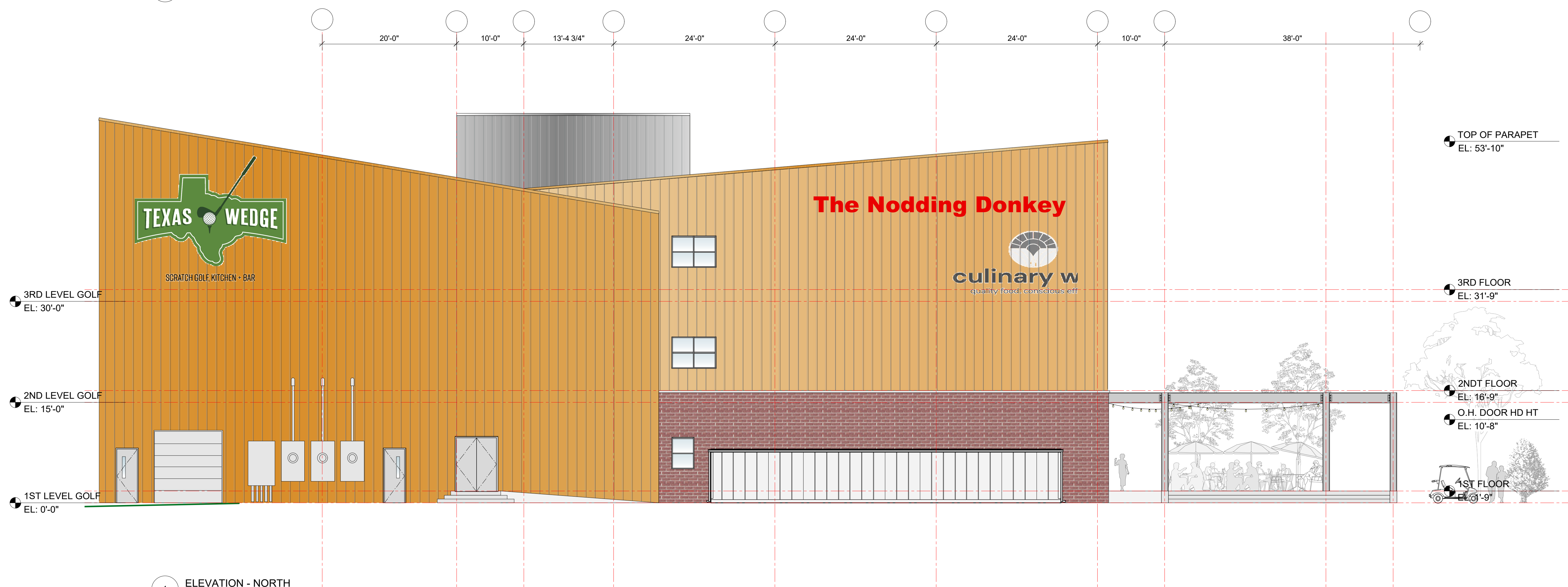
CONTINUOUS FULLY ADHERED AIR / VAPOR CONTROL LAYER

METAL DECK - RE: STRUCTURAL

ROOF JOISTS - RE: STRUCTURAL

**ROOF TYPE B**

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL



1 ELEVATION - NORTH  
Scale: 1/8" = 1'-0"

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**TEXAS WEDGE FACILITY**  
ROCKWALL, TX

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10'-0" 24'-0" 10'-0" 24'-0" 24'-0" 24'-0" 13'-3" 10'-0" 20'-0"

TOP OF PARAPET  
EL: 53'-10"

TOP OF STEEL  
EL: 53'-6"

3RD FLOOR  
EL: 31'-9"

3RD LEVEL GOLF  
EL: 30'-0"

2ND FLOOR  
EL: 16'-9"

2ND LEVEL GOLF  
EL: 15'-0"

O.H. DOOR HD HT  
EL: 10'-8"

1ST FLOOR  
EL: 1'-9"

1ST LEVEL GOLF  
EL: 0'-0"

1 SECTION  
Scale: 1/8" = 1'-0"

**WALL TYPE A**

- ANCHORED BRICK VENEER- ADJUSTABLE WALL TIES AT 16" O.C. VERTICALLY AND 24" O.C HORIZONTALLY
- 2" AIR SPACE
- CAVITY INSERT/MORTAR COLLECTION DEVICE
- WEEP VENTS
- 2" CONT. XPS RIGID INSULATION W/ DRAINAGE CHANNELS
- FLUID-APPLIED AIR/WATER/VAPOR INFILTRATION BARRIER
- 5/8" EXTERIOR GRADE GYPSUM SHEATHING
- 6" METAL STUDS STUDS AT 16" O.C.
- R-13 UNFACED FIBERGLASS BATT
- 5/8" GYPSUM BOARD W/ PAINT

**WALL TYPE B**

- VERTICAL CORRUGATED METAL PANELS - BRIDGERSTEEL "ULTRA BATTEN METAL WALL PANEL" OR APPROVED EQUAL
- THERMALLY BROKEN CLADDING ATTACHMENT SYSTEM (KNIGHT WALL HCI SYSTEM OR EQUAL)
- 2" CONT. XPS RIGID INSULATION W/ DRAINAGE CHANNELS
- FLUID-APPLIED AIR/WATER/VAPOR INFILTRATION BARRIER
- 5/8" EXTERIOR GRADE GYPSUM SHEATHING
- 6" METAL STUDS STUDS AT 16" O.C.
- R-13 UNFACED FIBERGLASS BATT
- 5/8" GYPSUM BOARD W/ PAINT

**ROOF TYPE A**

- 60 MIL SINGLE PLY FULLY ADHERED TPO ROOF MEMBRANE
- 1/4" COVER BOARD (DENSDECK PRIME ROOF BOARD OR EQUAL)
- POLYISO THERMAL INSULATION (R-21)
- CONTINUOUS FULLY ADHERED AIR / VAPOR CONTROL LAYER
- METAL DECK - RE: STRUCTURAL
- ROOF JOISTS - RE: STRUCTURAL

**ROOF TYPE B**

- 7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL

TOP OF PARAPET  
EL: 53'-10"

TOP OF STEEL  
EL: 53'-6"

3RD FLOOR  
EL: 31'-9"

3RD LEVEL GOLF  
EL: 30'-0"

2ND FLOOR  
EL: 16'-9"

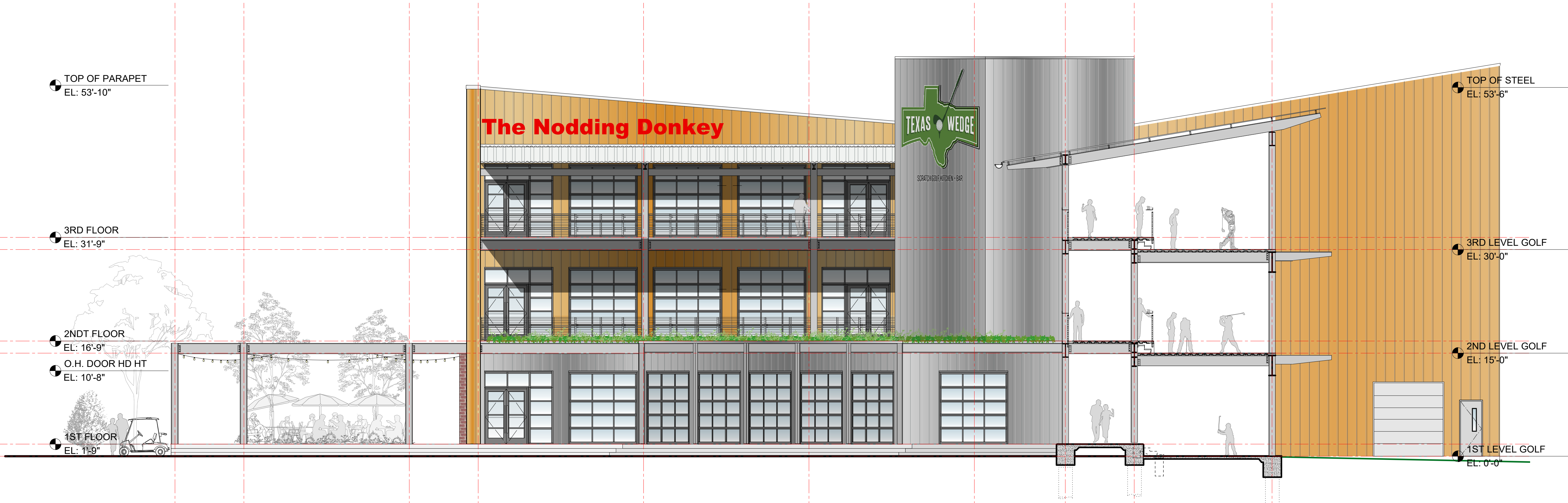
2ND LEVEL GOLF  
EL: 15'-0"

O.H. DOOR HD HT  
EL: 10'-8"

1ST FLOOR  
EL: 1'-9"

1ST LEVEL GOLF  
EL: 0'-0"

2 ELEVATION  
Scale: 1/8" = 1'-0"




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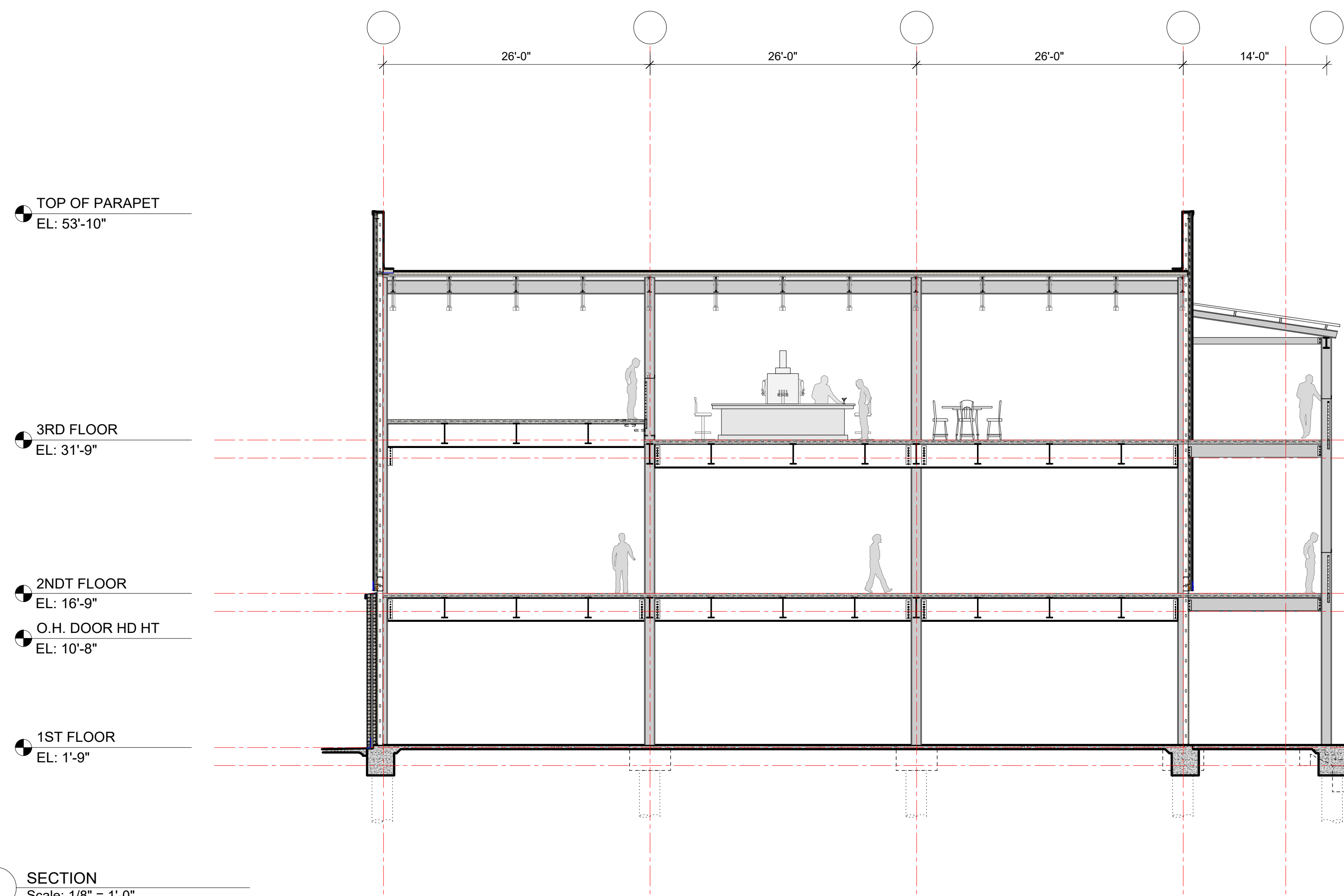
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**TEXAS WEDGE FACILITY**  
ROCKWALL, TX

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**WALL TYPE A**

ANCHORED BRICK VENEER- ADJUSTABLE WALL TIES AT 16" O.C. VERTICALLY AND 24" O.C HORIZONTALLY

2" AIR SPACE

CAVITY INSERT/MORTAR COLLECTION DEVICE

WEEP VENTS

2" CONT. XPS RIGID INSULATION W/ DRAINAGE CHANNELS

FLUID-APPLIED AIR/WATER/VAPOR INFILTRATION BARRIER

5/8" EXTERIOR GRADE GYPSUM SHEATHING

6" METAL STUDS STUDS AT 16" O.C.

R-13 UNFACED FIBERGLASS BATT

5/8" GYPSUM BOARD W/ PAINT

**WALL TYPE B**

VERTICAL CORRUGATED METAL PANELS - BRIDGERSTEEL "ULTRA BATTEN METAL WALL PANEL" OR APPROVED EQUAL

THERMALLY BROKEN CLADDING ATTACHMENT SYSTEM (KNIGHT WALL HCI SYSTEM OR EQUAL)

2" CONT. XPS RIGID INSULATION W/ DRAINAGE CHANNELS

FLUID-APPLIED AIR/WATER/VAPOR INFILTRATION BARRIER

5/8" EXTERIOR GRADE GYPSUM SHEATHING

6" METAL STUDS STUDS AT 16" O.C.

R-13 UNFACED FIBERGLASS BATT

5/8" GYPSUM BOARD W/ PAINT

**ROOF TYPE A**

60 MIL SINGLE PLY FULLY ADHERED TPO ROOF MEMBRANE

1/4" COVER BOARD (DENSDECK PRIME ROOF BOARD OR EQUAL)

POLYISO THERMAL INSULATION (R-21)

CONTINUOUS FULLY ADHERED AIR / VAPOR CONTROL LAYER

METAL DECK - RE: STRUCTURAL

ROOF JOISTS - RE: STRUCTURAL

**ROOF TYPE B**

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL



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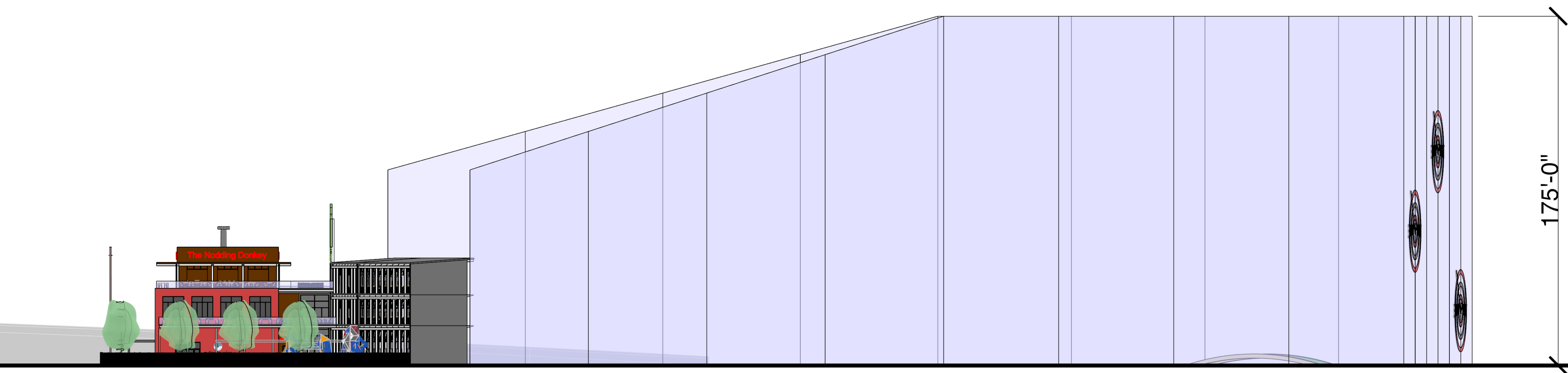
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SECTION / ELEVATIONS **A-2.2**





NETTING HEIGHT



WA# 19144.02 PRINTED: 7/5/2023 1:55 PM STB FILE: WIER-SURVEY.STB LAST SAVED: 7/5/2023 1:55 PM SAVED BY: RYANA FILE: 2023-6-29 PROPERTY METES & BOUNDS DESC - 19144.02.DWG

BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT

9.942 ACRE TRACT

BEING A TRACT OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120, ROCKWALL COUNTY, TEXAS, BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO STRUCTURED REA-ROCKWALL LAND, LLC, RECORDED IN INSTRUMENT NO. 20210000001622, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.C.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND, SAID IRON ROD BEING A NORTHEAST CORNER OF SAID STRUCTURED TRACT, THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO JOWERS, INC., RECORDED IN VOLUME 1215, PAGE 155, DEED RECORDS, ROCKWALL COUNTY, TEXAS (D.R.R.C.T.), AND IN THE WEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO RUSTY WALLIS FAMILY LIMITED PARTNERSHIP #2, RECORDED IN VOLUME 4014, PAGE 173, D.R.R.C.T.;

THENCE S 01°41'51" E, ALONG AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WALLIS TRACT, 345.16 FEET TO A POINT;

THENCE S 71°45'12" W, DEPARTING AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WALLIS TRACT, 505.08 FEET TO A POINT, BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE SOUTHERLY, AN ARC LENGTH OF 255.29 FEET ALONG SAID NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 830.00 FEET, A DELTA ANGLE OF 17°37'23", AND A CHORD BEARING S 89°49'15" W, A DISTANCE OF 254.29 FEET TO A POINT;

THENCE S 81°00'34" W, A DISTANCE OF 305.78 FEET TO A POINT IN THE NORTH RIGHT-OF-WAY LINE OF FIT SPORT LIFE BOULEVARD (A 60' RIGHT-OF-WAY), BEING THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE NORTHWESTERLY DEPARTING SAID FIT SPORT LIFE BOULEVARD, AN ARC LENGTH OF 31.42 FEET ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 90°00'00", AND A CHORD BEARING OF N 53°59'26" W, A DISTANCE OF 28.28 FEET TO A POINT;

THENCE N 08°59'26" W, A DISTANCE OF 356.88 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND WITH A PINK CAP STAMPED "TXDOT" BEARS S 87°49'28" W, 726.69 FEET, SAID IRON ROD BEING THE NORTHWEST CORNER OF SAID STRUCTURED TRACT AND BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF CORPORATE CROSSING (VARIABLE WIDTH RIGHT-OF-WAY) WITH THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 30 (VARIABLE WIDTH RIGHT-OF-WAY);

THENCE N 72°46'09" E, A DISTANCE OF 602.14 FEET TO A POINT IN THE WEST LINE OF SAID JOWERS TRACT AND THE MOST NORTHERLY EAST LINE OF SAID STRUCTURED TRACT;

THENCE S 01°36'16" E, ALONG THE WEST LINE OF SAID JOWERS TRACT AND THE MOST NORTHERLY EAST LINE OF SAID STRUCTURED TRACT, A DISTANCE OF 121.40 FEET TO A POINT, BEING THE SOUTHWEST CORNER OF SAID JOWERS TRACT;

THENCE N 76°34'05" E, ALONG THE SOUTH LINE OF SAID JOWERS TRACT AND THE MOST EASTERLY NORTH LINE OF SAID STRUCTURED TRACT, A DISTANCE OF 540.70 FEET TO THE PLACE OF BEGINNING AND CONTAINING 9.942 ACRES (433,054 SQUARE FEET) OF LAND, MORE OR LESS.

**WIA** SURVEYOR PREPARING THIS EXHIBIT:  
**WIER & ASSOCIATES, INC.**

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
Texas Firm Registration No. F-2776 www.WierAssociates.com  
Texas Board of Professional Land Surveying Registration No. 10033900

9.942 ACRE TRACT  
CITY OF ROCKWALL, COUNTY OF ROCKWALL, TEXAS

DRAWN BY: RTC

APPROVED: \_\_\_\_\_

SHEET NO. 1 OF 1

REV.



CITY OF ROCKWALL

ORDINANCE NO. 22-52

SPECIFIC USE PERMIT NO. S-287

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A *GOLF DRIVING RANGE* ON A 7.955-ACRE TRACT OF LAND BEING A PORTION OF A LARGER 18.13-ACRE TRACT OF LAND AND A 12.868-ACRE TRACT OF LAND IDENTIFIED AS TRACT 22 & 22-2 OF THE R. IRVINE SURVEY, ABSTRACT NO 120, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Renee Ward, PE of Weir & Associates on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a *Golf Driving Range* on a 7.955-acre parcel of land, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, being identified as a portion of a larger 18.13-acre tract of land and a 12.868-acre tract of land further identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, generally located near the terminus of Fit Sport Life Boulevard, and being more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Golf Driving Range* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

**SECTION 2.** That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial District Standards*; Subsection 04.05, *Commercial (C) District*; and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development*



*Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

## **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the operation of a *Golf Driving Range* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The development and operation of a *Golf Driving Range* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and *Concept Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 2) The maximum height of the netting and support structures shall not exceed 200-feet and shall generally conform to *Exhibit 'D'* of this ordinance.

## **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

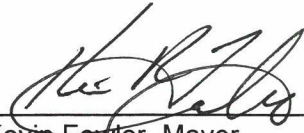
**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

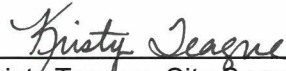
**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 3<sup>RD</sup> DAY OF OCTOBER, 2022.**

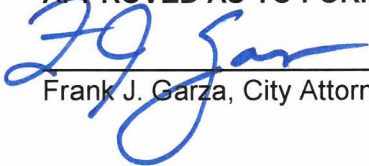


  
\_\_\_\_\_  
Kevin Fowler, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: September 19, 2022

2<sup>nd</sup> Reading: October 3, 2022



**Exhibit 'A':**  
*Legal Description*

*BEING A TRACT OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120, ROCKWALL COUNTY, TEXAS, BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO STRUCTURED REA-ROCKWALL LAND, LLC, RECORDED IN INSTRUMENT NO. 20210000001622, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.C.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:*

*BEGINNING AT A 1/2" IRON ROD FOUND, SAID IRON ROD BEING A NORTHEAST CORNER OF SAID STRUCTURED TRACT, THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO JOWERS, INC., RECORDED IN VOLUME 1215, PAGE 155, DEED RECORDS, ROCKWALL COUNTY, TEXAS (D.R.R.C.T.), AND IN THE WEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO RUSTY WAWS FAMILY LIMITED, PARTNERSHIP #2. RECORDED IN VOLUME 4014, PAGE 173, D.R.R.C.T., FROM WHICH A 5/8" IRON ROD FOUND WITH A PINK CAP STAMPED "TXDOT" BEARS N 01'41'51" W, 384.88 FEET, SAID IRON ROD BEING THE NORTHEAST CORNER OF SAID JOWERS TRACT AND THE NORTHWEST CORNER OF SAID RUSTY WALLIS TRACT;*

*THENCE S 01'41'51" E, ALONG AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WAWS TRACT, 390.33 FEET TO A POINT:*

*THENCE S 66'40'31" W, DEPARTING AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WAWS TRACT, 554.53 FEET TO A POINT;*

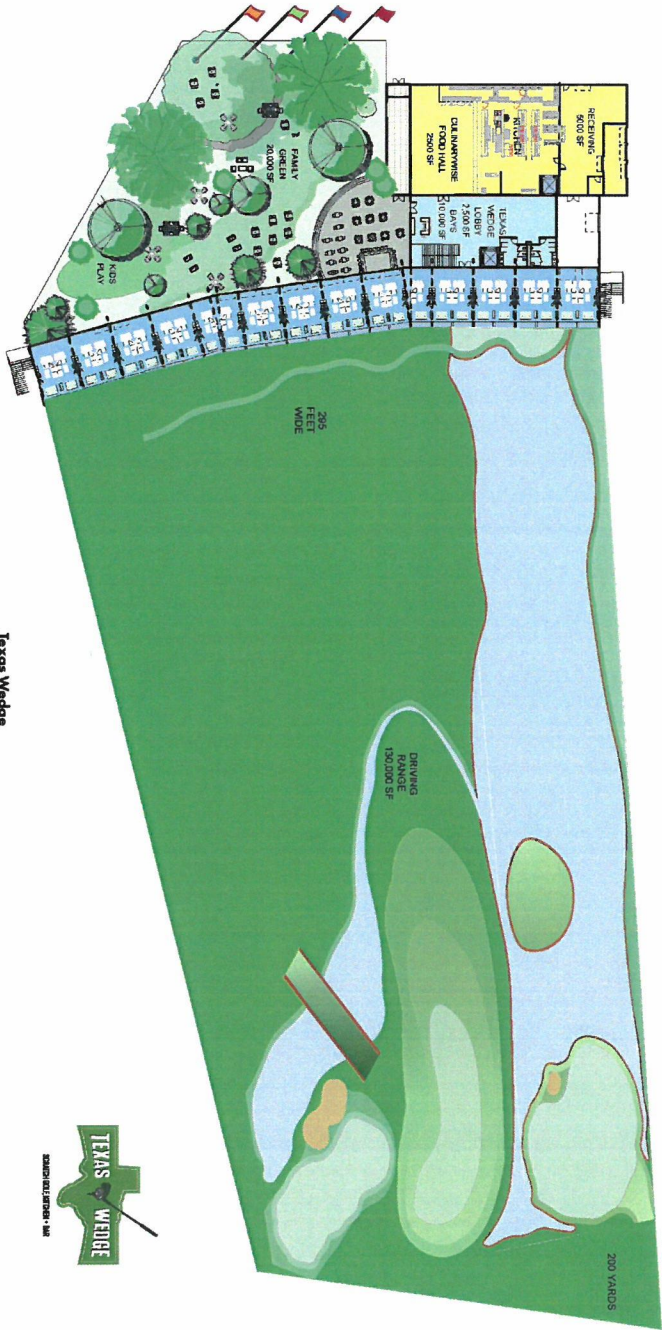
*THENCE N 69'37'39" W, A DISTANCE OF 307.50 FEET TO A POINT, BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT;*

*THENCE NORTHWESTERLY, AN ARC LENGTH OF 3.78 FEET ALONG SAID NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 10'50'27", AND A CHORD BEARING OF N 14'22'25" W, 3.78 FEET TO A POINT;*

*THENCE N 08'57'11" W, A DISTANCE OF 303.51 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND WITH A PINK CAP STAMPED "TXDOT" BEARS S 89'22'04" W, 996.58 FEET, SAID IRON ROD BEING THE NORTHWEST CORNER OF SAID STRUCTURED TRACT AND BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF CORPORATE CROSSING (VARIABLE WIDTH RIGHT-OF-WAY) WITH THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 30 (VARIABLE WIDTH RIGHT-OF-WAY):*

*THENCE N 76'34'05" E, AT A DISTANCE OF 316.84 FEET PASSING THE SOUTHWEST CORNER OF SAID JOWERS TRACT, AND CONTINUING ALONG THE SOUTH LINE OF SAID JOWERS TRACT AND A NORTH LINE OF SAID STRUCTURED TRACT A TOTAL DISTANCE OF 857.54 FEET TO THE PLACE OF BEGINNING AND CONTAINING 7.955 ACRES (346,532 SQUARE FEET) OF LAND, MORE OR LESS.*

**Exhibit 'B':  
Concept Plan**



**20,000 Green Space**

Central secure green space for families to gather. Outdoor entertainment and shaded trees provide a safe and relaxing environment for family gathering. Canopy covered raised bar for live music.

**Texas Wedge**

Texas Wedge has been designed to be an unforgettable experience for golf enthusiasts, amateurs, and families alike. Focused on five-star guest service, the latest interactive golf technology and professional quality golf equipment. In each of the 81 bays, guests will swing Cleveland Wedges and drive Stron golf balls as they play their choice of 200 of the most famous golf courses from around the world, thanks to Track Master technology. In the driving range area, guests will have access to 3-5 signature holes from some of the most well-known PGA courses.

A true entertainment destination for families and adults alike, the fun doesn't stop at golf! The second floor of Texas Wedge will be home to 12 lanes of bowling, a full arcade and five party rooms, perfect for birthday parties, corporate events and more. Go up one more level and you'll find yourself in the Nodding Donkey Sports Saloon, a full-service bar and kitchen with two private rooms (The Bourbon Room & The Bubbly Room) exclusively for adults. Each room will have private bathrooms, a bar, a balcony and two golf bays. Texas Wedge has truly been designed to be the premiere entertainment destination for families and adults alike in beautiful Rockwell, TX.

**WDS**  
wading design studio

ROCKWALL CASE # Z2022-041



Exhibit 'B':  
Concept Plan

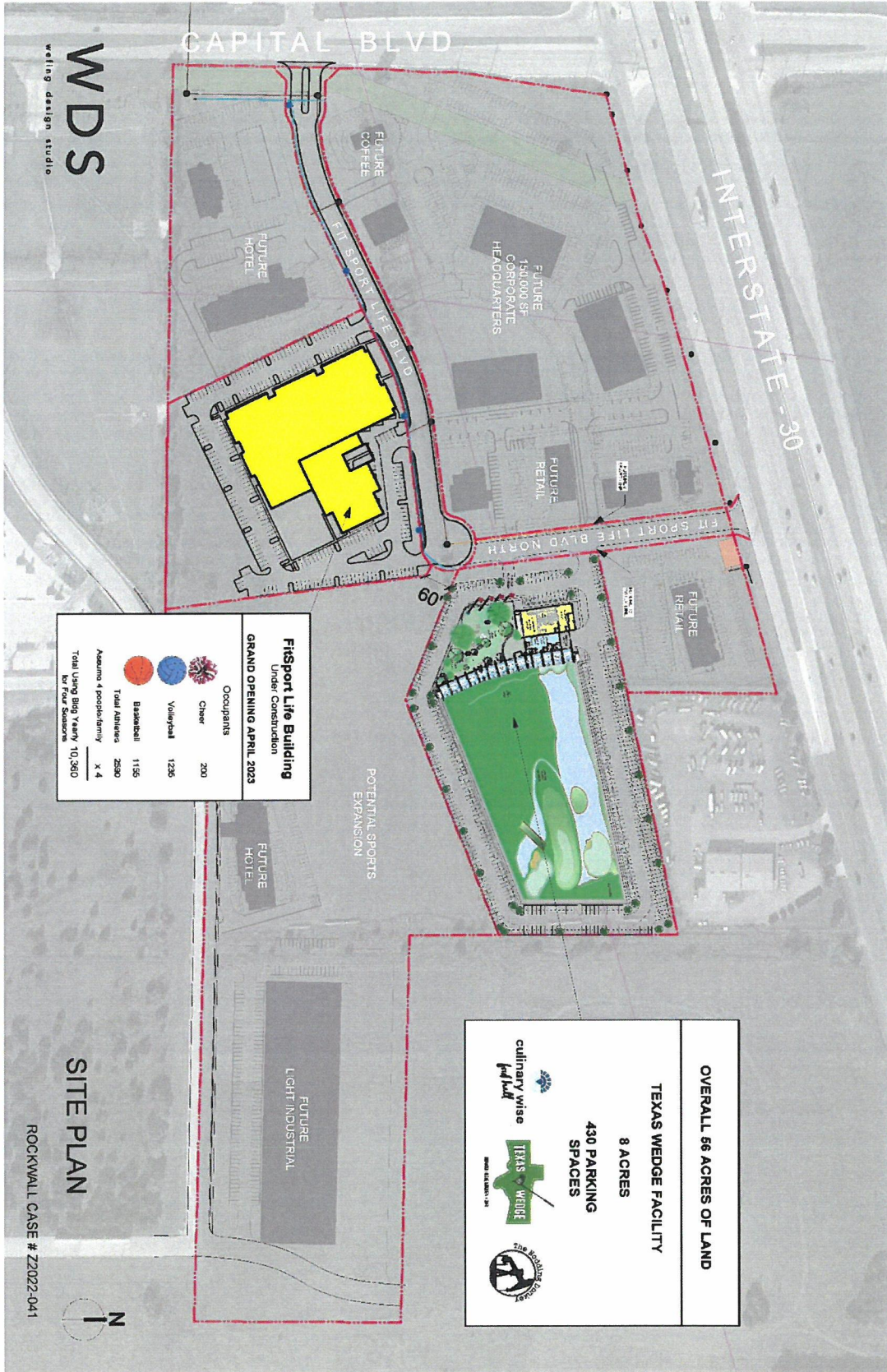
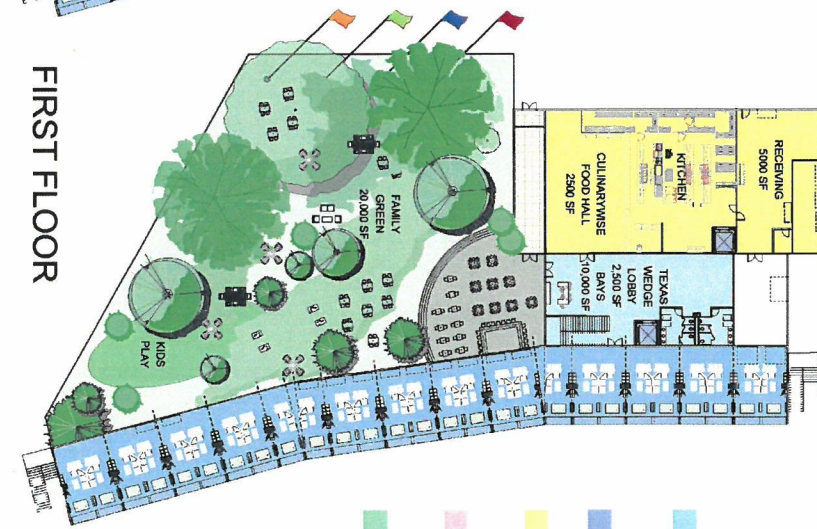
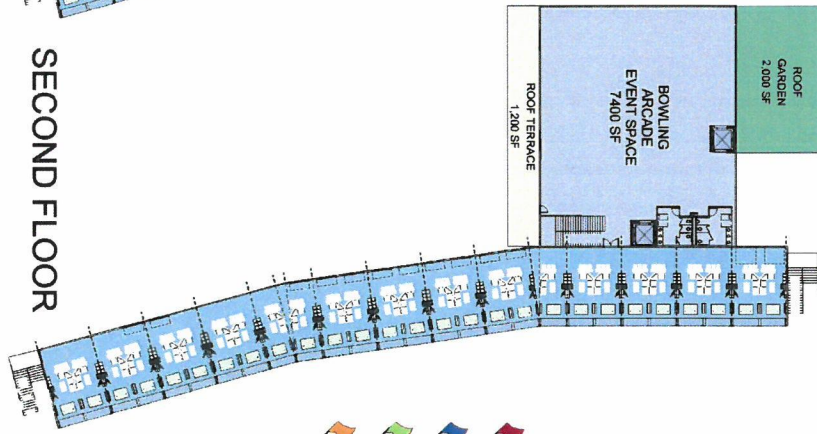
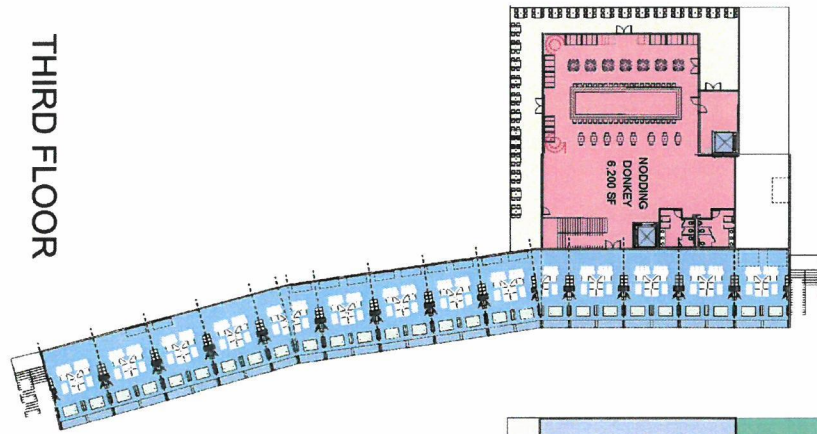


Exhibit 'B':  
Concept Plan

**WDS**  
weir design studio

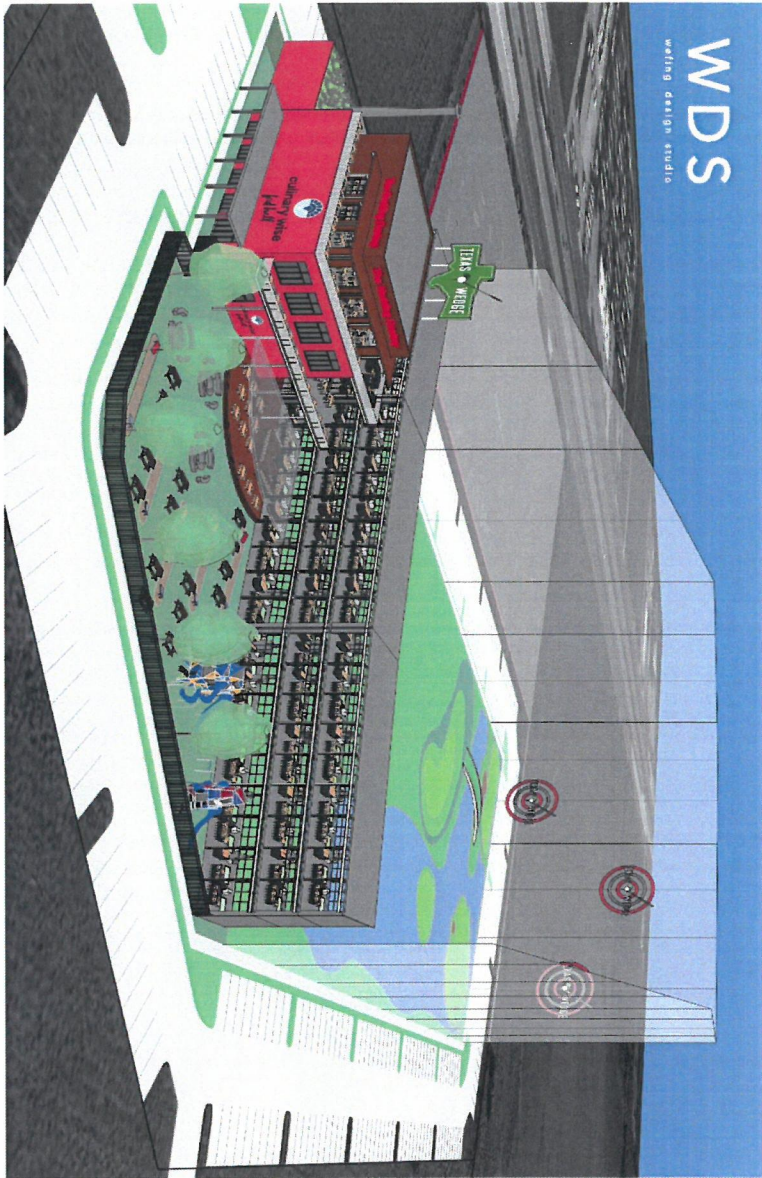


	<b>TEXAS WEDGE</b>
	2,500 SF ENCLOSED
	30,000 SF OPEN AIR
	<b>BOWLING/ARCADE</b>
	7,400 SF ENCLOSED
	<b>CULINARY WISE</b>
	2,500 SF MARKET
	500 SF SERVICE
	<b>NODDING DONKEY</b>
	6,200 SF ENCLOSED
	2,000 SF OPEN AIR
	<b>FAMILY GREEN</b>
	20,000 SF OPEN AIR
<b>TOTAL</b>	
	22,500 SF ENCLOSED
	52,000 SF OPEN AIR

ROCKWALL CASE # Z2022-041



## Exhibit 'C': Concept Building Elevations



**WDS**  
wedding design studio



### Texas Wedge

Texas Wedge has been designed to be an unforgettable experience for golf enthusiasts, amateurs, and families alike, focused on five-star guest service, the latest interactive golf technology and professional quality golf equipment. In each of the 81 bays, guests will swing Cleveland Wedges and drive Sixon golf balls as they play their choice of 200 of the most famous golf courses from around the world, thanks to Track Master technology. In the driving range area, guests will have access to 3-5 signature holes from some of the most well-known PGA courses.

A five entertainment destination for families and adults alike, the fun doesn't stop at golf! The second floor of Texas Wedge will be home to 12 lanes of bowling, a full arcade and five party rooms, perfect for birthday parties, corporate events and more. Go up one more level and you'll find yourself in The Nodding Donkey Sports Saloon, a full-service bar and kitchen with two private rooms (The Bourbon Room & The Bubbly Room), exclusivity for adults. Each room will have private bathrooms, a bar, a balcony and two golf bays. Texas Wedge has truly been designed to be the premiere entertainment destination for families and adults alike in beautiful Rockwall, TX.

### 20,000 Green Space

Central secure green space for families to gather. Outdoor entertainment and shaded trees provide a safe and relaxing environment for family gathering. Canopy covered raised bar for live music.

### Culinary Wise Food Hall



As the parent company of our restaurant, Culinary Wise unites our concepts as one brand. The Culinary Wise Food Hall is a literal physical representation of that unity, with four of our most popular restaurant concepts under one roof, as well as a few offerings that have been served through our catering business for over 20 years. As the sole owner and operator of the food hall, unlike other food halls which rent space to individual restaurant owners, we'll have full oversight of the quality and consistency in both our offerings and our service. The food hall will have 2,500 sq ft of kitchen and entry space with 120 indoor seats and an indoor/outdoor bar that seats 12 on both sides. There will also be 80 seats outside along with a covered & gated playground for children aged 2-12 years.

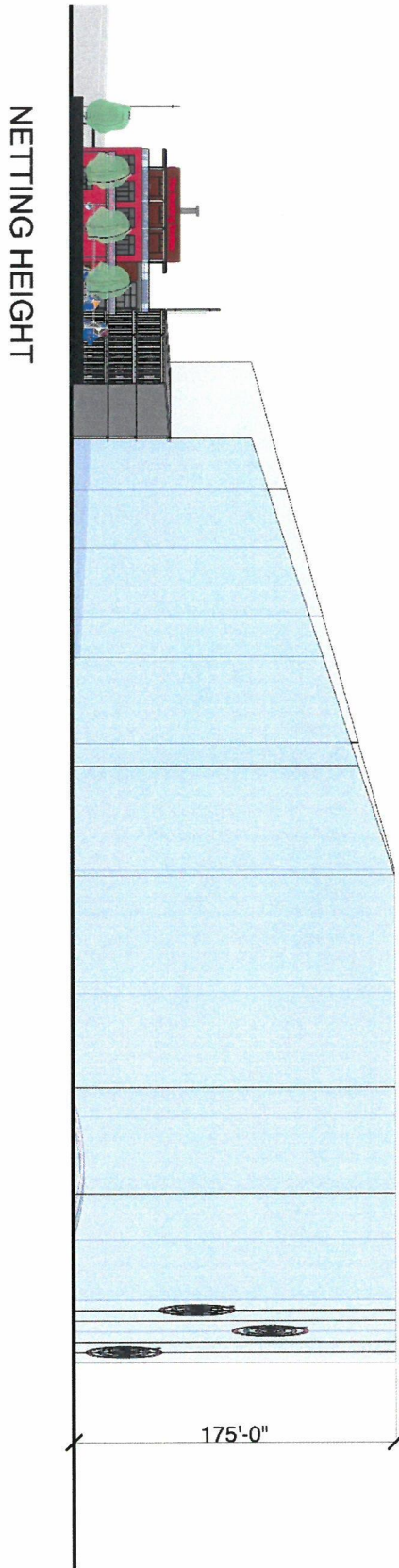


### The Nodding Donkey - Texas Sports Saloon, Scratch Kitchen

Opened in 2010, The Nodding Donkey quickly became the go-to sports saloon in Uptown Dallas. Our menu offerings for the Texas Wedge outpost of The Nodding Donkey will be a hybrid of the restaurant's tex-mex and game day favorites, along with share items including steaks, pork chops & pasta from sister restaurant State & Allen. Located on the third floor of Texas Wedge as part of the 15,000 sq. foot open air design, The Nodding Donkey will have ample seating with 300+ seats inside, 200+ outside and 60 at the rectangular bar. With 60 TVs and a live concert venue sharing the 15,000 sq ft space, there will always be something to enjoy at The Nodding Donkey! Rockwall residents looking for a place to plan an event will also love our 5,000 sq ft private event hall overlooking the stage and outdoor bar. This larger space can also be rearranged into four 1,250 sq ft spaces to accommodate smaller parties.

ROCKWALL CASE # Z2022-041

Exhibit 'D':  
Golf Netting Height



**WDS**  
wating design studio

ROCKWALL CASE # Z2022-041



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING *ORDINANCE NO. 22-52* AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A *GOLF DRIVING RANGE AND OUTDOOR COMMERCIAL AMUSEMENT/RECREATION* ON A 7.955-ACRE TRACT OF LAND BEING A PORTION OF A LARGER 18.13-ACRE TRACT OF LAND AND A 12.868-ACRE TRACT OF LAND IDENTIFIED AS TRACT 22 & 22-2 OF THE R. IRVINE SURVEY, ABSTRACT NO 120, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Renee Ward, PE of Weir & Associates on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a *Golf Driving Range* and *Outdoor Commercial Amusement/Recreation* on a 7.955-acre parcel of land, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, being identified as a portion of a larger 18.13-acre tract of land and a 12.868-acre tract of land further identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, generally located near the terminus of Fit Sport Life Boulevard, and being more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that *Ordinance No. 22-52 (S-287)* and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 22-52 (S-287)*.

**SECTION 2.** That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Golf Driving Range* and *Outdoor Commercial Amusement/Recreation* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

**SECTION 3.** That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, and Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial District Standards*; Subsection 04.05, *Commercial (C) District*, and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

### 3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Golf Driving Range* and *Outdoor Commercial Amusement/Recreation* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The development and operation of a *Golf Driving Range* and *Outdoor Commercial Amusement/Recreation* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and *Concept Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 2) The maximum height of the netting and support structures shall not exceed 200-feet and shall generally conform to *Exhibit 'D'* of this ordinance.

### 3.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 7.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.



**SECTION 8.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF SEPTEMBER, 2023.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 21, 2023

2<sup>nd</sup> Reading: September 5, 2023

**Exhibit 'A':**  
*Legal Description*

BEING A TRACT OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120, ROCKWALL COUNTY, TEXAS, BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO STRUCTURED REA-ROCKWALL LAND, LLC, RECORDED IN INSTRUMENT NO. 20210000001622, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.C.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND, SAID IRON ROD BEING A NORTHEAST CORNER OF SAID STRUCTURED TRACT, THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO JOWERS, INC., RECORDED IN VOLUME 1215, PAGE 155, DEED RECORDS, ROCKWALL COUNTY, TEXAS (D.R.R.C.T.), AND IN THE WEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO RUSTY WAWS FAMILY LIMITED, PARTNERSHIP #2. RECORDED IN VOLUME 4014, PAGE 173, D.R.R.C.T., FROM WHICH A 5/8" IRON ROD FOUND WITH A PINK CAP STAMPED "TXDOT" BEARS N 01'41'51" W, 384.88 FEET, SAID IRON ROD BEING THE NORTHEAST CORNER OF SAID JOWERS TRACT AND THE NORTHWEST CORNER OF SAID RUSTY WALLIS TRACT;

THENCE S 01'41'51" E, ALONG AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WAWS TRACT, 390.33 FEET TO A POINT;

THENCE S 66'40'31" W, DEPARTING AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WAWS TRACT, 554.53 FEET TO A POINT;

THENCE N 69°37'39" W, A DISTANCE OF 307.50 FEET TO A POINT, BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT;

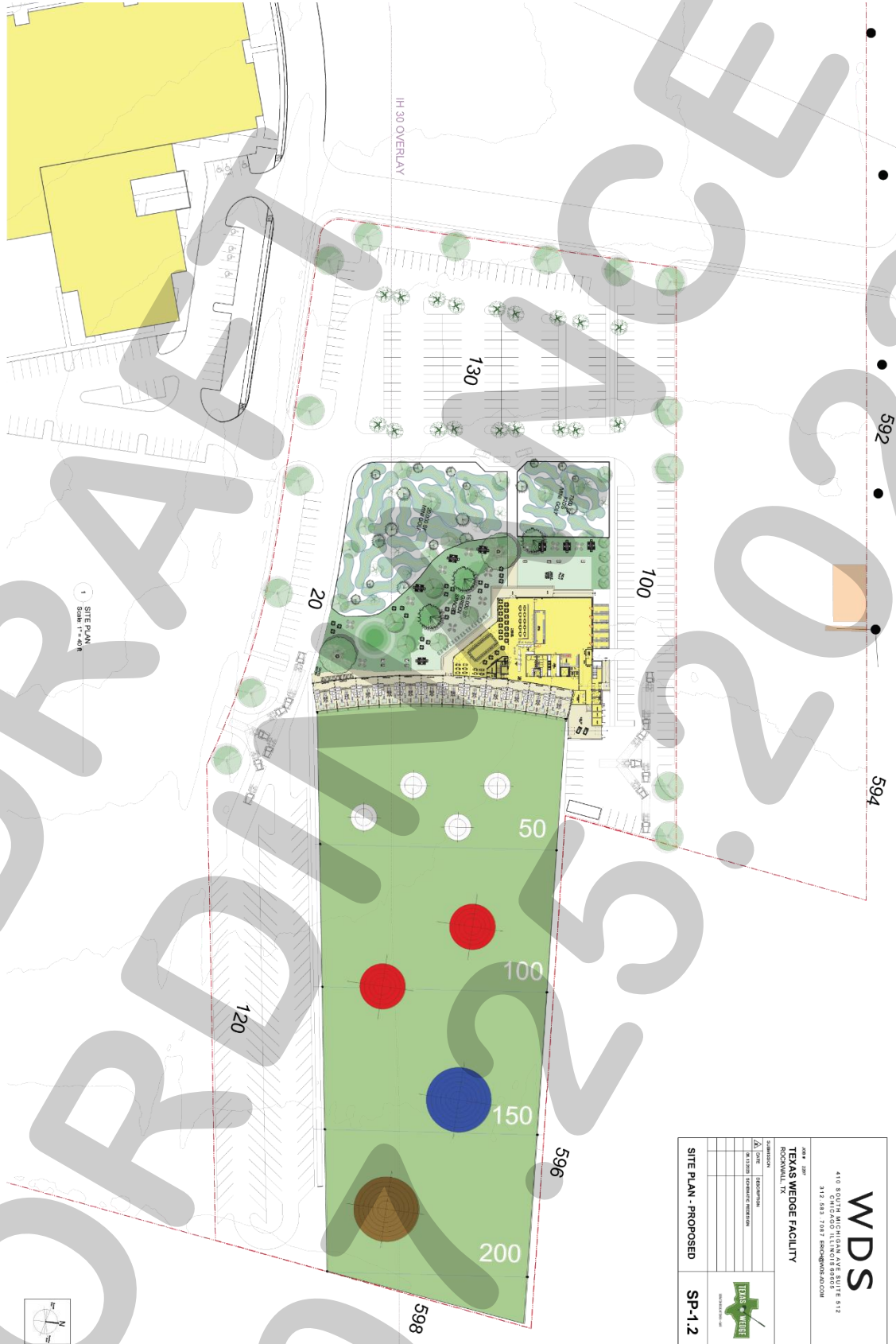
THENCE NORTHWESTERLY, AN ARC LENGTH OF 3.78 FEET ALONG SAID NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 10'50'27", AND A CHORD BEARING OF N 14'22'25" W, 3.78 FEET TO A POINT;

THENCE N 08'57'11" W, A DISTANCE OF 303.51 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND WITH A PINK CAP STAMPED "TXDOT" BEARS S 89'22'04" W, 996.58 FEET, SAID IRON ROD BEING THE NORTHWEST CORNER OF SAID STRUCTURED TRACT AND BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF CORPORATE CROSSING (VARIABLE WIDTH RIGHT-OF-WAY) WITH THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 30 (VARIABLE WIDTH RIGHT-OF-WAY):

THENCE N 76°34'05" E, AT A DISTANCE OF 316.84 FEET PASSING THE SOUTHWEST CORNER OF SAID JOWERS TRACT, AND CONTINUING ALONG THE SOUTH LINE OF SAID JOWERS TRACT AND A NORTH LINE OF SAID STRUCTURED TRACT A TOTAL DISTANCE OF 857.54 FEET TO THE PLACE OF BEGINNING AND CONTAINING 7.955 ACRES (346,532 SQUARE FEET) OF LAND, MORE OR LESS.



**Exhibit 'B':  
Concept Plan**



		410 SOUTH MICHIGAN AVE SUITE 412 CHICAGO ILLINOIS 60605 312.883.7047 PHOENIX@WDS.COM	
		JOB # 2021 TEXAS WEDGE FACILITY ROCKWALL, TX	
SUBMISSION DATE 10/20/2023 NO. 23-XX PROJECT NO. 2023-035			
SITE PLAN - PROPOSED		SP-1.2	







Exhibit 'C':  
Concept Building Elevations



**TEXAS WEDGE**  
 FIT SPORT LIFE BLVD, ROCKWALL, TEXAS 75032  
 NEW BUILDING FOR GOLF  
 FOOD AND ENTERTAINMENT  
 SCHEMATIC PRICING PACKAGE



**DRAWING LIST**

- T-1.0 TITLE SHEET
- SP-10 SITE PLAN - EXISTING
- SP-11 SITE PLAN - PROPOSED
- SP-12 SITE PLAN - PROPOSED ENHANCED
- SP-13 GREEN SPACES
- SP-14 H2O SPACES
- SP-15 H2O SPACES
- SP-16 GOLF RANGE
- A-1.11 FIRST FLOOR PLAN
- A-1.12 SECOND FLOOR PLAN
- A-1.13 CON PLAN
- A-1.14 PLANS 1-3
- A-2.0 ELEVATIONSECTION - NORTH
- A-2.1 ELEVATIONSECTION - SOUTH
- A-2.2 ELEVATIONSECTION - WEST

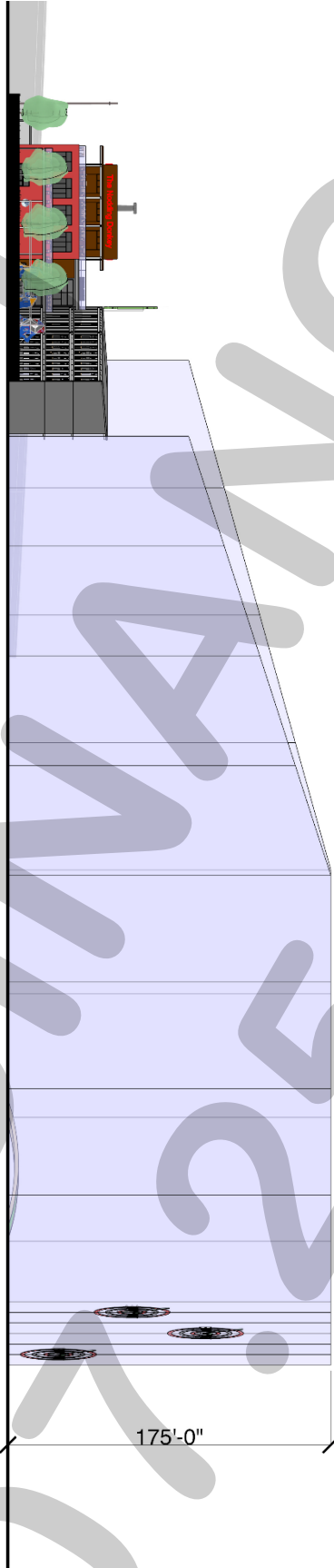
<p><b>WDS</b>                  410 SOUTH MICHIGAN AVE SUITE 512                  CHICAGO ILLINOIS 60655                  312.589.7887 <a href="mailto:info@wds-a.com">info@wds-a.com</a></p>	
<p><b>TEXAS WEDGE FACILITY</b>                  ROCKWALL, TX</p>	
<p>DATE: 2023                  DRAWN BY: [Name]                  CHECKED BY: [Name]                  IN CHARGE: [Name]</p>	<p>                   TUS &amp; WEDGE                  10000 W. LAKOTA AVE                  SUITE 100                  ROCKWALL, TX 75087                  (972) 967-1100  <a href="http://www.tusandwedge.com">www.tusandwedge.com</a> </p>
<p>TITLE SHEET</p>	
<p>T-1.0</p>	



Exhibit 'D':  
Golf Netting Height

WDS  
weidinger design studio

NETTING HEIGHT



ROCKWALL CASE # Z2022-041

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 7/21/2023

PROJECT NUMBER: Z2023-036  
PROJECT NAME: SUP for a Carport at 820 Heath Street  
SITE ADDRESS/LOCATIONS: 820 HEATH ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	07/20/2023	Approved w/ Comments

07/20/2023: Z2023-036; SUP for a Carport at 820 E. Heath Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, and addressed as 820 E. Heath Street.
- I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).
- M.3 For reference, include the case number (Z2023-036) in the lower right-hand corner of all pages on future submittals.
- M.4 Please review the attached draft ordinance prior to the July 25, 2023 Planning & Zoning Commission meeting.
- I.5 According to the Unified Development Code (UDC), carports on residential lots in a Single Family 7 (SF-7) District are subject to the following requirements:
  - 1) The maximum allowable size of a carport is 500 SF.
  - 2) The carport must be open on at least two (2) sides.
  - 3) The carport must be located a minimum of 20-feet behind the front façade of the primary structure and be architecturally integrated into the main residential structure.
  - 4) The carport must meet the garage setback adjacent to an alley (i.e. a minimum of ten [10] feet).
  - 5) The carport must meet the minimum side yard setbacks (i.e. a minimum of six [6] feet).
- I.6 Carports not conforming to these requirements shall require a Specific Use Permit (SUP).
- I.7 In this case, the applicant is requesting a 624 SF architecturally integrated carport that does not meet the minimum set back of 20-feet behind the front façade of the primary structure. In addition, the carport is 124 SF more than the allowable size for a carport.
- M.8 Staff has included the following operational conditions in the attached Specific Use Permit (SUP) ordinance:
  - 1) The carport shall maintain conformance to the approved site plan and building elevations depicted in Exhibits 'A' & 'B' of the Specific Use Permit (SUP) ordinance.
  - 2) The carport shall not exceed a maximum size of 625 square feet.
  - 3) The carport shall not exceed a maximum overall height of 17 feet.
  - 4) The carport is subject to administrative review in the event that the Subject Property is sold, conveyed or altered in any manner.



I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 8, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 15, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 25, 2023.

I.10 The projected City Council meeting dates for this case will be August 21, 2023 (1st Reading) and September 5, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jonathan Browning	07/19/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/20/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/20/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/17/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany Ross	07/21/2023	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/19/2023	Approved
No Comments			



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

820 E Heath St.

SUBDIVISION

Solar Village

LOT

1

BLOCK

A

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Richard Expo

APPLICANT

CONTACT PERSON

RYSZARD WASZCZUK

CONTACT PERSON

ADDRESS

838 Nash St.

ADDRESS

CITY, STATE & ZIP

Rockwall, TX. 75087

CITY, STATE & ZIP

PHONE

972-400-8047

PHONE

E-MAIL

Richardexpo@hotmail.com

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYSZARD WASZCZUK (OWNER) THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

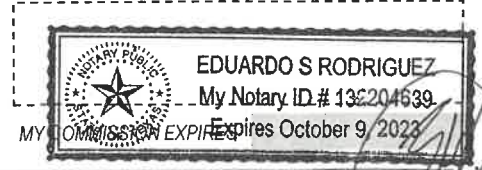
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14<sup>th</sup> DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14<sup>th</sup> DAY OF July, 2023

OWNER'S SIGNATURE

*[Signature]*

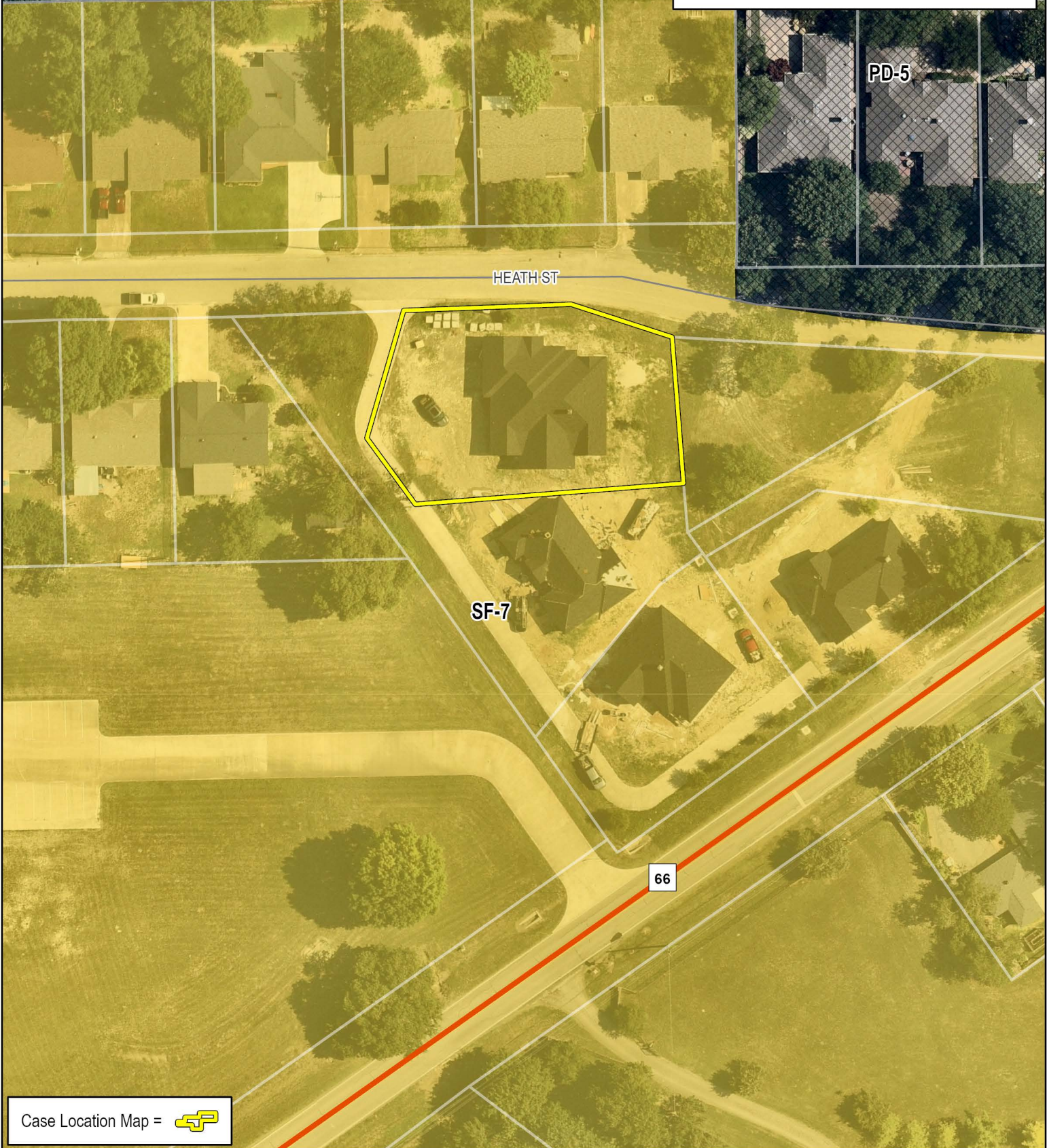
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Z2023-036: Specific Use Permit for a Carport at 820 E. Heath Street



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



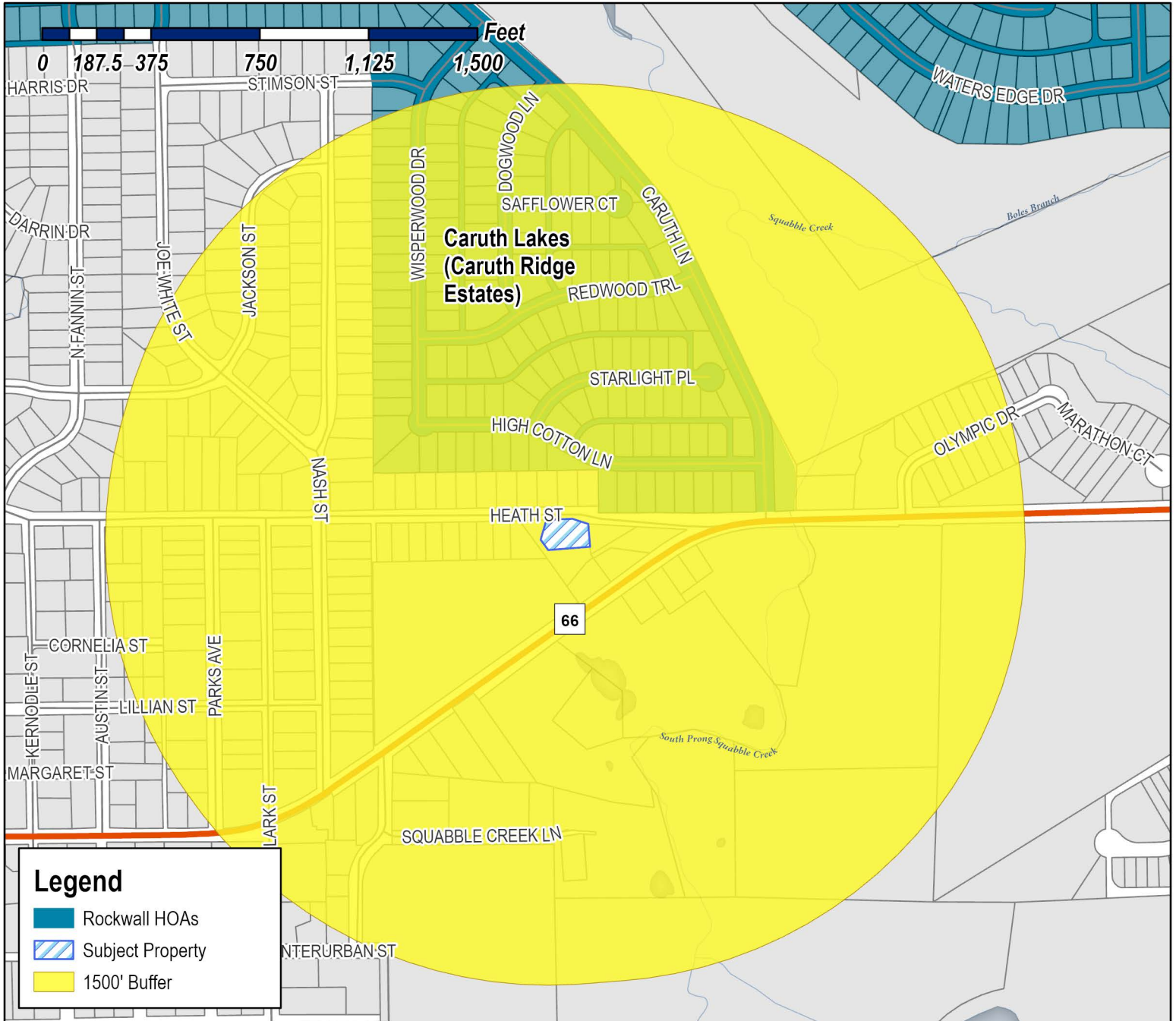




# City of Rockwall

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**Case Number:** Z2023-036  
**Case Name:** SUP for a Carport  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 820 E. Heath Street



**Date Saved:** 7/14/2023

For Questions on this Case Call (972) 771-7745



## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, July 19, 2023 9:06 AM  
**Cc:** Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-036]  
**Attachments:** Public Notice (P&Z) (7.17.2023).pdf; HOA Map (07.14.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *July 21, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, August 15, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, August 21, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-036: SUP for a Carport**

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a *Specific Use Permit (SUP)* for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

Thank you,

*Melanie Zavala*

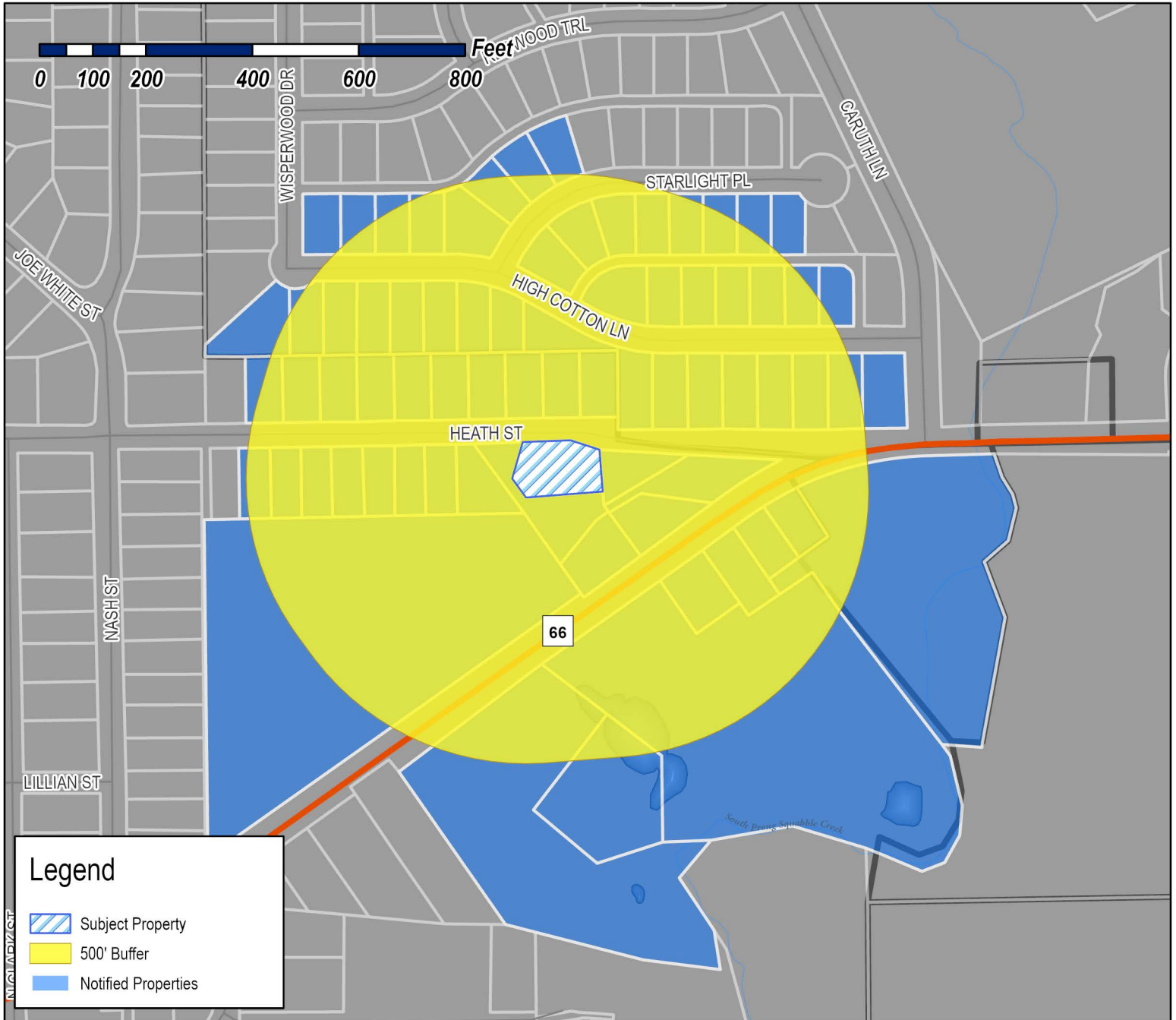
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



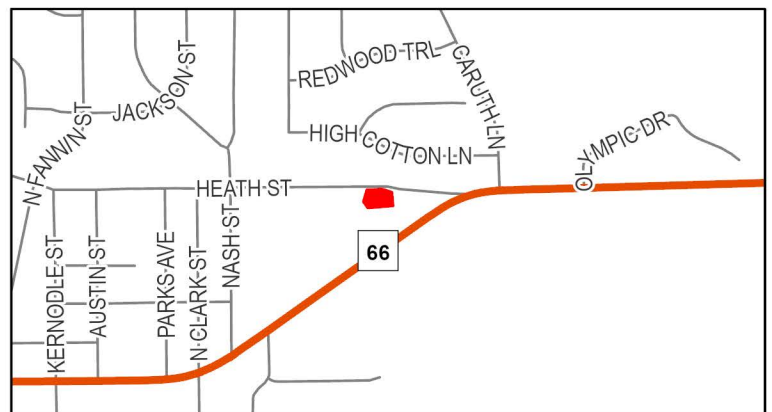
# City of Rockwall

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**Case Number:** Z2023-036  
**Case Name:** SUP for a Carport  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 820 E. Heath Street



**Date Saved:** 7/14/2023

For Questions on this Case Call: (972) 771-7746



KINDELL GROUP LLC  
1 TABER LANE  
ROCKWALL, TX 75087

RESIDENT  
1001 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
1002 HIGH COTTON LN  
ROCKWALL, TX 75087

ADAMS JOHNNY R JR & JEANNE K  
1005 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
1007 STARLIGHT PL  
ROCKWALL, TX 75087

SPENCE JODY L  
1010 HIGH COTTON LN  
ROCKWALL, TX 75087

KINSELLA ERIC P & CARLA J  
1011 HIGH COTTON LN  
ROCKWALL, TX 75087

RUST WILLIAM KA ND TERRI DAWN  
1013 STARLIGHT PL  
ROCKWALL, TX 75087

JENNINGS RICHARD  
1016 HIGH COTTON LN  
ROCKWALL, TX 75087

LAMBERT MILDRED L & NORMAN R  
1017 HIGH COTTON LN  
ROCKWALL, TX 75087

WIENBARG KIMBERLY  
1019 STARLIGHT  
ROCKWALL, TX 75087

HEIN KYLE G & VERONICA L  
1022 HIGH COTTON LN  
ROCKWALL, TX 75087

WOODS WILLIAM & RITA  
1023 HIGH COTTON LN  
ROCKWALL, TX 75087

JARESH DONALD & COLETTE  
1025 STARLIGHT PL  
ROCKWALL, TX 75087

PRESLEY DELISA & RANDALL  
1028 HIGH COTTON LANE  
ROCKWALL, TX 75087

SINGH GURDARSHAN AND PARAMJIT SINGH  
1029 HIGH COTTON LN  
ROCKWALL, TX 75087

BAKER CHRISTOPHER MILLER AND MONICA  
NAHIR  
1031 STARLIGHT PL  
ROCKWALL, TX 75087

BASHAM TOMMY & JAMIE  
1034 HIGH COTTON LN  
ROCKWALL, TX 75087

KEGLEY SCOTT  
1035 HIGH COTTON LN  
ROCKWALL, TX 75087

JOHNSON ROBERT AND  
VIRGINIA LEE  
1040 HIGH COTTON LN  
ROCKWALL, TX 75087

GAJEWSKI MISTY  
1041 HIGH COTTON LANE  
ROCKWALL, TX 75087

BACK STACY ANN & CHARLES BACK JR  
1049 HIGH COTTON LANE  
ROCKWALL, TX 75087

HOPEWELL MARILYN E  
1056 WISPERWOOD DR  
ROCKWALL, TX 75087

SWH 2017-1 BORROWER LP  
1131 W WARNER RD STE 102  
TEMPE, AZ 85284

HPA TEXAS SUB 2017-1 LLC  
120 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

HPA BORROWER 2018-1 MS LLC  
120 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

ROCKWALL ENTERPRISES LLC  
1309 MORAINNE PL  
HEATH, TX 75032

DORAZIO RICHARD & SHARON LIVING TRUST  
RICHARD A & SHARON L DORAZIO TRUSTEES  
143 SHEPHERDS GLEN RD  
HEATH, TX 75032

SHUGART MELODY S  
1511 FT DUQUESNA DR  
SUN CITY CENTER, FL 33573

2019-1 IH BORROWER LP  
1717 MAIN SST SUITE 2000  
DALLAS, TX 75201

THE BRANCH OFFICE PROPERTIES LLC  
25 NOBLE CT  
HEATH, TX 75032

HOLLAND PAUL  
2534 CR 3419  
HAWKINS, TX 75765

R FIFTY GREEN HOMES  
2704 FOXCHASE LN  
ROCKWALL, TX 75032

CAS INVESTMENT PROPERTIES LLC- SERIES 809  
HEATH  
521 WILLOW SPRINGS DR.  
HEATH, TX 75032

TAYLOR WANDA  
803 E HEATH ST  
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS  
804 E HEATH ST  
ROCKWALL, TX 75087

KRUEGER CHARLES H & JENNY L  
805 E HEATH ST  
ROCKWALL, TX 75087

CONLEY JANONA & THOMAS J  
806 E. HEATH ST  
ROCKWALL, TX 75087

MOHEDANO MARTIN  
807 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
808 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
809 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
810 E HEATH ST  
ROCKWALL, TX 75087

WARDELL LUKE A  
811 E HEATH ST  
ROCKWALL, TX 75087

KINSEY HILLARY  
812 EAST HEATH STREET  
ROCKWALL, TX 75087

GULLEY STAN LAVERE ETUX  
813 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
814 E HEATH ST  
ROCKWALL, TX 75087

HODGES BRIAN CODY & CHRISTY MICHELLE  
815 E HEATH ST  
ROCKWALL, TX 75087

NICHOLS CORY  
816 E HEATH ST  
ROCKWALL, TX 75087

RODRIGUEZ PAULA CANDACE  
817 E HEATH STREET  
ROCKWALL, TX 75087

RESIDENT  
818 E HEATH ST  
ROCKWALL, TX 75087

MOORE MIRIAM  
819 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
820 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
821 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
824 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
828 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
832 WILLIAMS ST  
ROCKWALL, TX 75087

RANDALL ROBERT S & SHERY B  
835 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
836 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
840 HEATH ST  
ROCKWALL, TX 75087

DOTSON DUNCAN L & DOLORES J  
841 HIGH COTTON LN  
ROCKWALL, TX 75087



MINCE RANDY JOE & RHONDA LYNN  
844 HIGH COTTON LN  
ROCKWALL, TX 75087

WEAVER BONNIE & SCOTT  
847 HIGH COTTON LN  
ROCKWALL, TX 75087

CHUNG WON S & HYE Y  
850 HIGH COTTON LN  
ROCKWALL, TX 75087

MEYER LANEY AND RANDAL  
853 HIGH COTTON LANE  
ROCKWALL, TX 75087

LAIN JACOB & SARAH  
856 HIGH COTTON LANE  
ROCKWALL, TX 75087

CLEMENT MICHAEL BRENT  
859 HIGH COTTON LANE  
ROCKWALL, TX 75087

COTTI MICHAEL A  
862 HIGH COTTON LANE  
ROCKWALL, TX 75087

RESIDENT  
865 HIGH COTTON LN  
ROCKWALL, TX 75087

MCKNIGHT SCOTT A & KAY A  
871 HIGH COTTON LN  
ROCKWALL, TX 75087

MCKINNEY ROBERT A & JENNIFER J  
877 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
901 WILLIAMS ST  
ROCKWALL, TX 75087

TATE NATHAN A AND LAURA S AND  
DARLENE SINGLETON  
928 WILLIAMS ST  
ROCKWALL, TX 75087

SINGLETON ROY LEE SR & LINDA D  
930 WILLIAMS ST  
ROCKWALL, TX 75087

CANTRELL JANET SUE  
932 WILLIAMS ST  
ROCKWALL, TX 75087

SAKOLEVIDIS DESTINY AND JOHN COOK JR  
934 WILLIAMS ST  
ROCKWALL, TX 75087

RESIDENT  
936 WILLIAMS ST  
ROCKWALL, TX 75087

SANCHEZ RAQUEL  
938 WILLIAMS STREET  
ROCKWALL, TX 75087

SPILLMAN JAMES T  
940 WILLIAMS ST  
ROCKWALL, TX 75087

HILL HEATH D & JENNIFER S  
974 STARLIGHT PL  
ROCKWALL, TX 75087

SHARP MARCUS & STELLA  
980 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
983 STARLIGHT PL  
ROCKWALL, TX 75087

KEIFER R MATTHEW & KRISTEN C  
986 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
991 STARLIGHT PL  
ROCKWALL, TX 75087

POMROY SHAWN AND PATRICIA  
992 STARLIGHT PL  
ROCKWALL, TX 75087

GRANBERRY EDITH  
M/R  
, TX 75087

CARUTH RIDGE EST HOMEOWNERS ASSOC INC  
C/O GOODWIN MANAGEMENT, INC.  
PO BOX 203310  
AUSTIN, TX 78720

ROCKWALL ASSEMBLY OF GOD  
C/O DAVID SPIEGEL  
PO BOX 33  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-036: SUP for a Carport**

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-036: SUP for a Carport**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

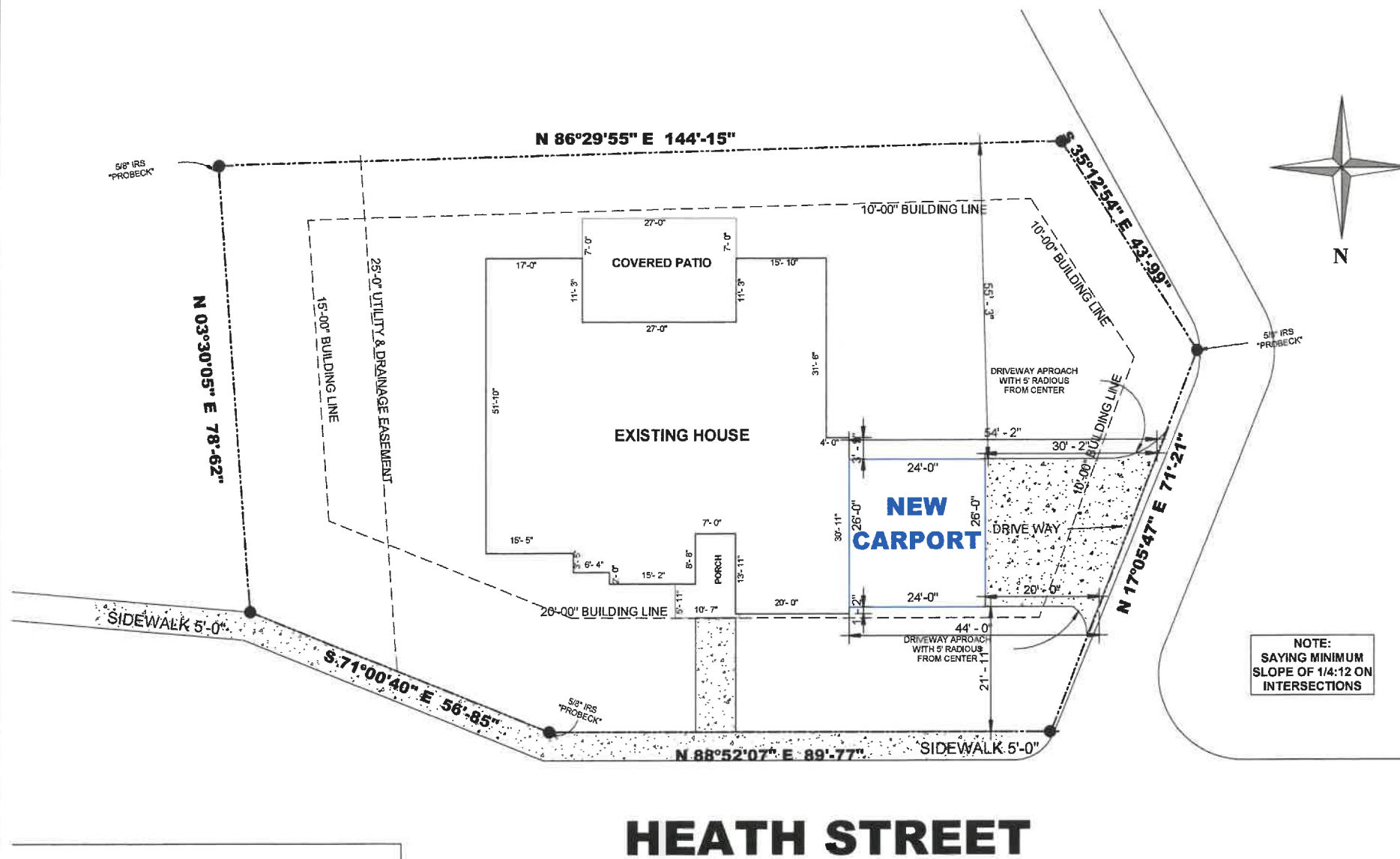
Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





VICINITY MAP

820 E HEATH ST  
ROCKWALL, TX 75087

EXISTING HOUSE	3,681.5 SG/FT
NEW CARPORT	624 SG/FT
TOTAL NEW CONSTRUCTION	624 SG/FT
LOT AREA	0.3492 ACRES

NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS

**1 Site Plan**  
1/16" = 1'-0"

**HEATH STREET**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVISIONS AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THE JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

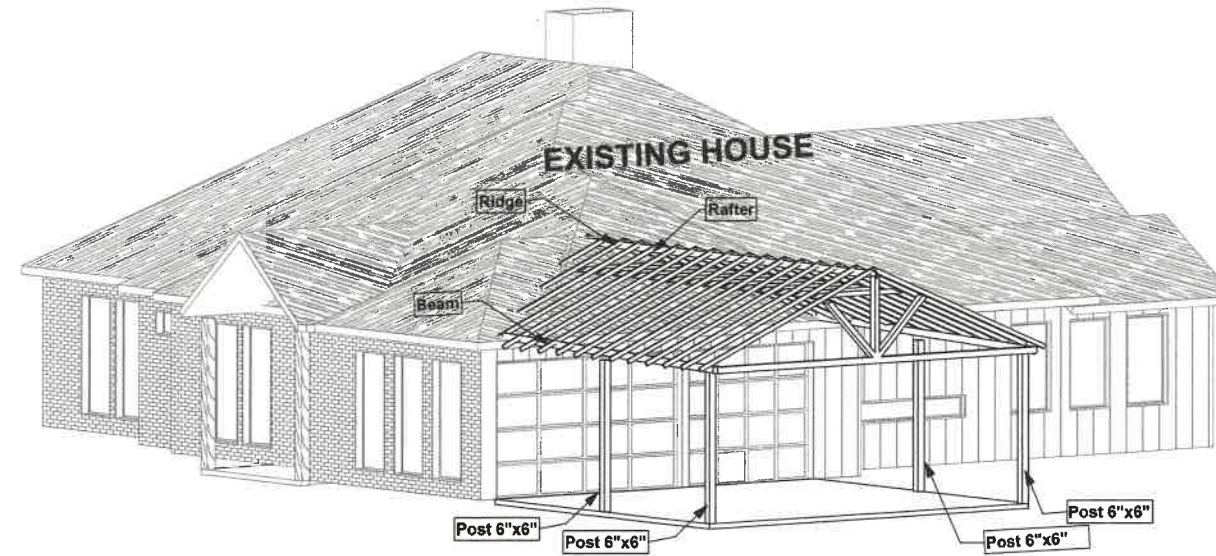
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR REVISIONS ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPIES, TRACES, OR ALTERATIONS OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
820 E HEATH ST  
ROCKWALL, TX 75087

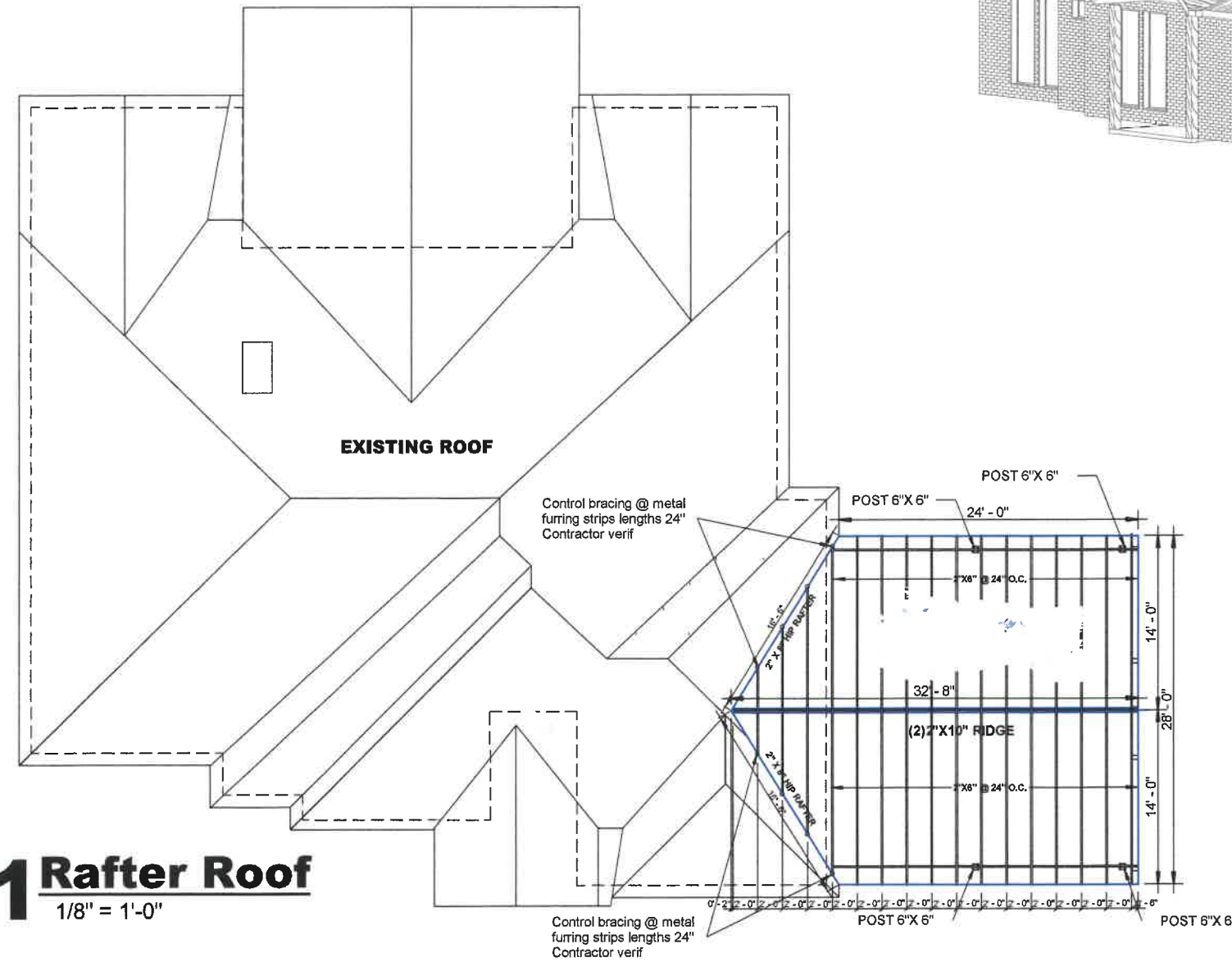
**Legal Description**  
LOT 7

<b>SITE PLAN</b>	
Project number:	
Date:	6/23/2023
Scale:	1/16" = 1'-0"
Drawn by: Projects & Construction Araque	

**1**



## 2 Framing Carport



## 1 Rafter Roof

1/8" = 1'-0"



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE DESIGN PROFESSIONAL AND ALL CONTRACTORS OF THE JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY JOB. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCES IN SURROUNDING LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY CHANGES DUE TO ERRORS, OMISSIONS, OR REVISIONS OF THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THE HOUSE ONLY ONCE. ANY CORRECTIONS, REVISIONS, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATIONS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

### Project Name & Address

820 E HEATH ST  
ROCKWALL, TX 75087

### Legal Description

LOT 7

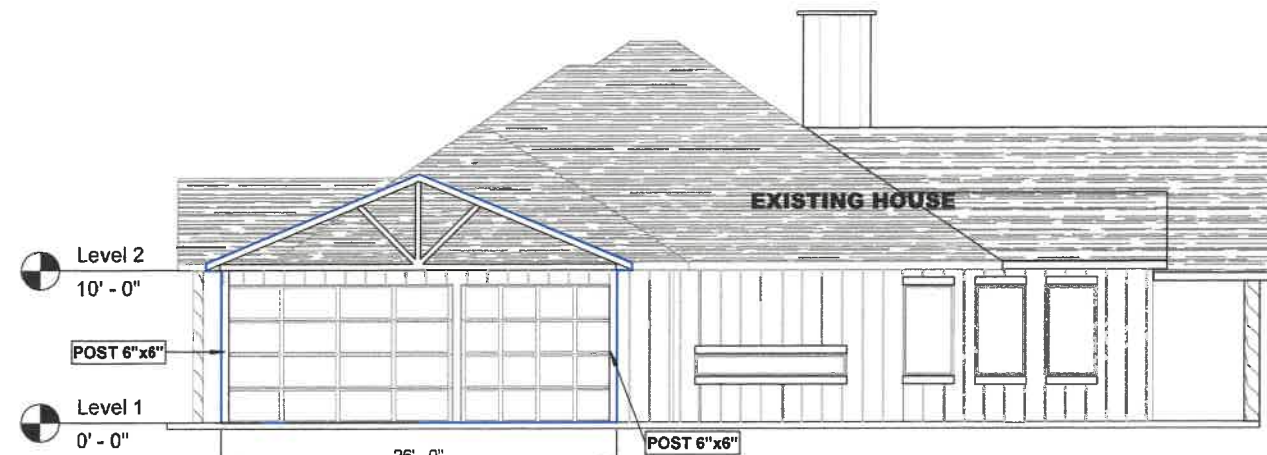
### RAFTER ROOF

Project number:

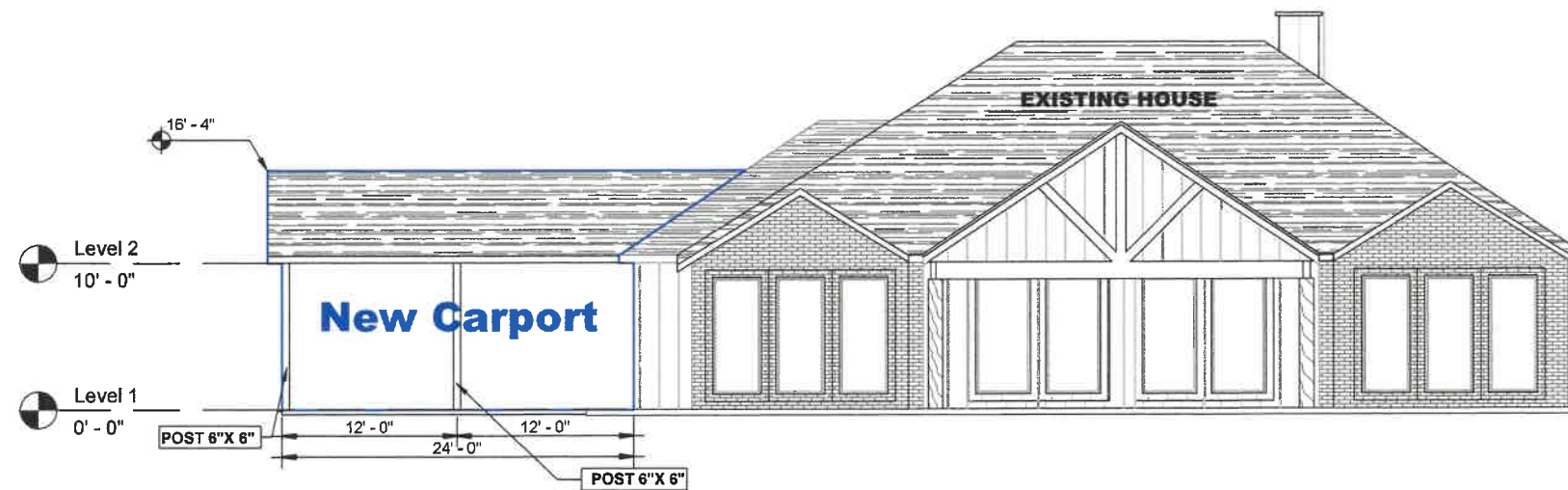
Date: 6/23/2023 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque





**1 Front Elevation**  
1/8" = 1'-0"



**2 Right Elevation**  
1/8" = 1'-0"



**3 Left Elevation**  
1/8" = 1'-0"



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, FOUND AND STRUCTURAL, BEFORE BEGINNING CONSTRUCTION OF ANY FOOTING. NOTE ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRADING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**

820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**

LOT 7

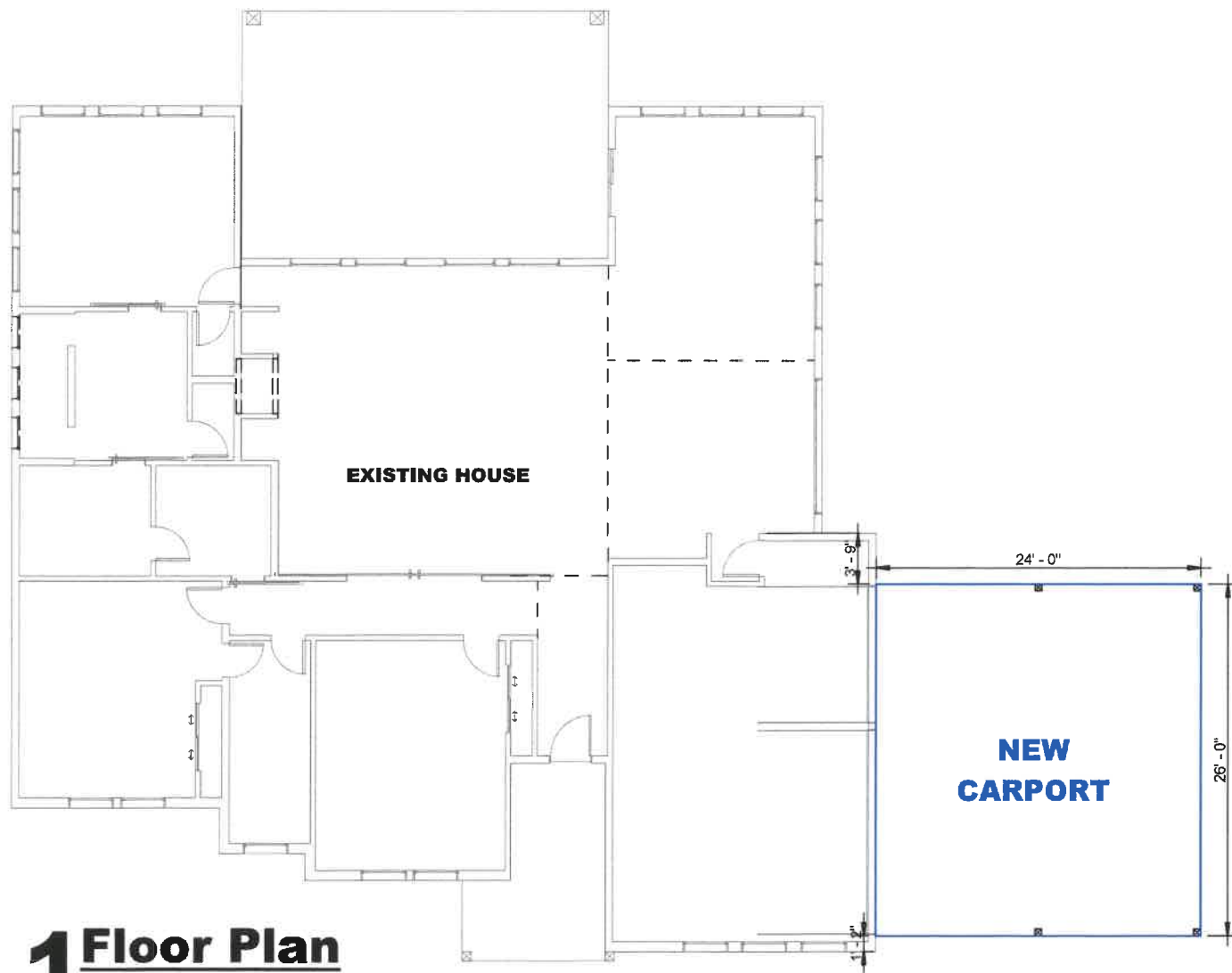
**ELEVATIONS**

Project number:

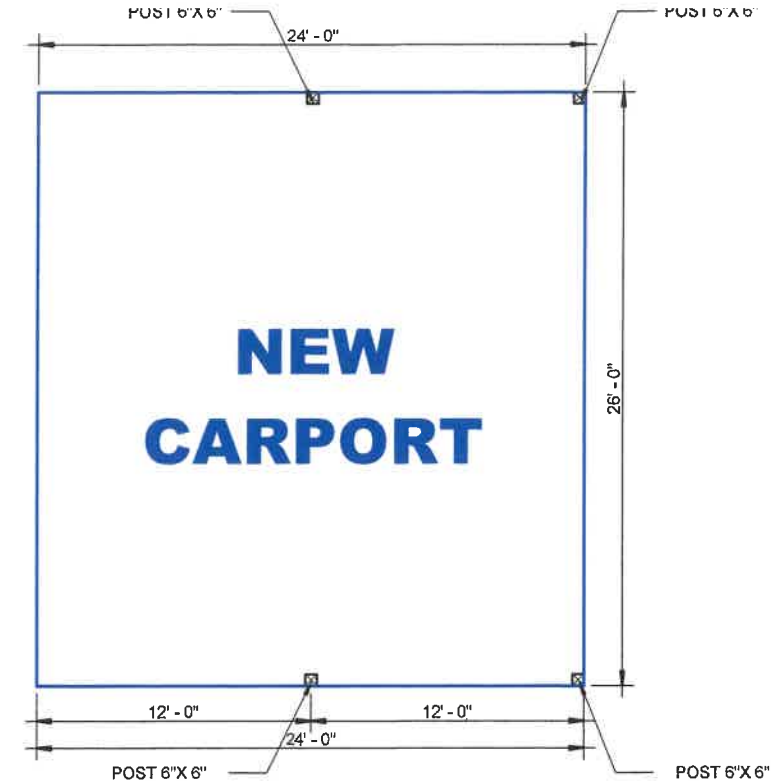
Date: 6/23/2023

Scale 1/8" = 1'-0"

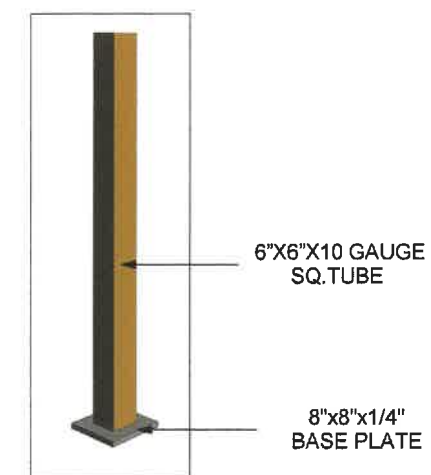
Drawn by: Projects & Construction Araque



**1 Floor Plan**  
1/8" = 1'-0"



**2 Top View Post**  
3/16" = 1'-0"



**3 Detail Post**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY JOB. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSULTATION WITH US ONLY ONCE. ANY COPIING, TRADING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**

820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**

LOT 7

**FLOOR PLAN**

Project number:

Date:

6/23/2023

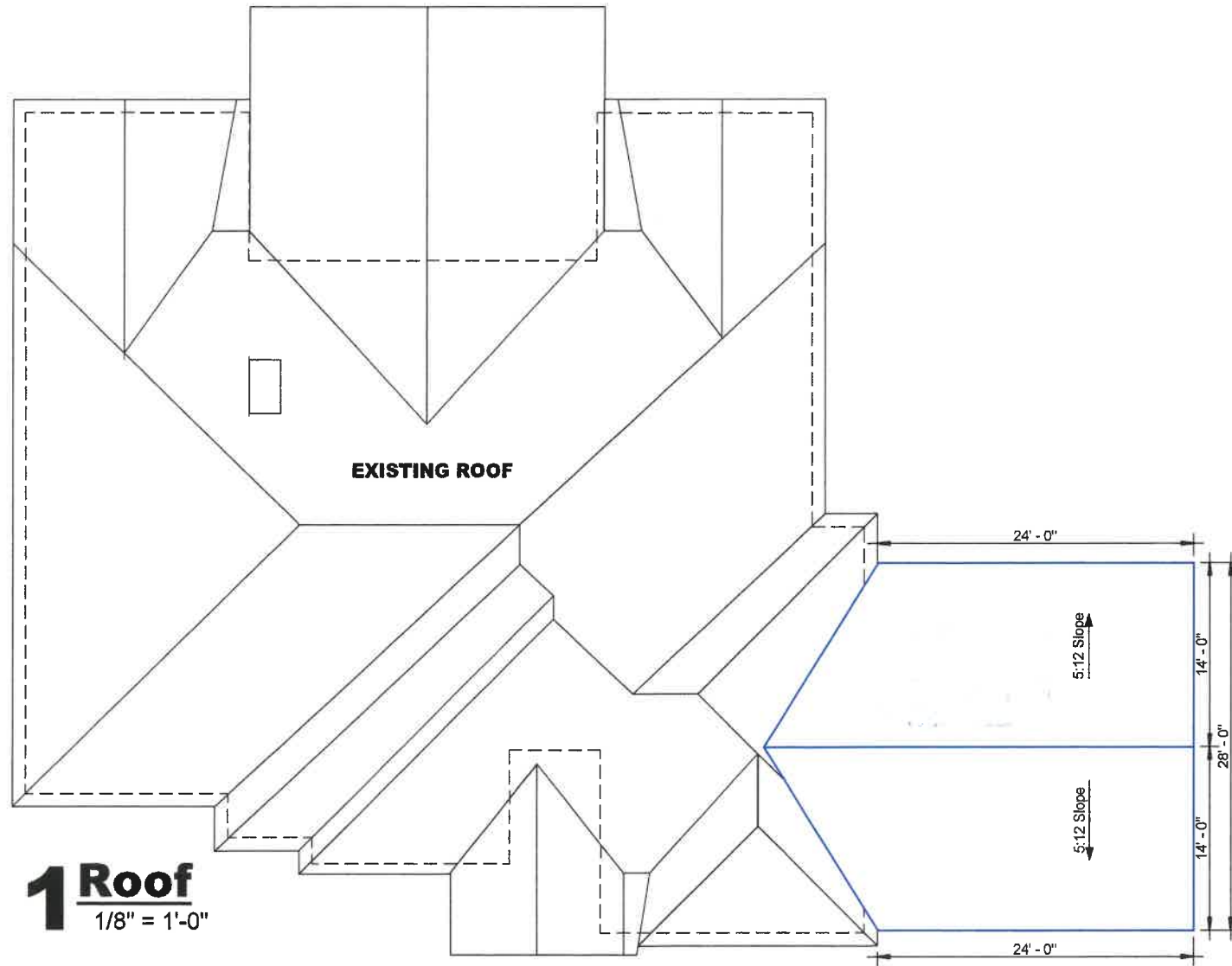
Scale

As indicated

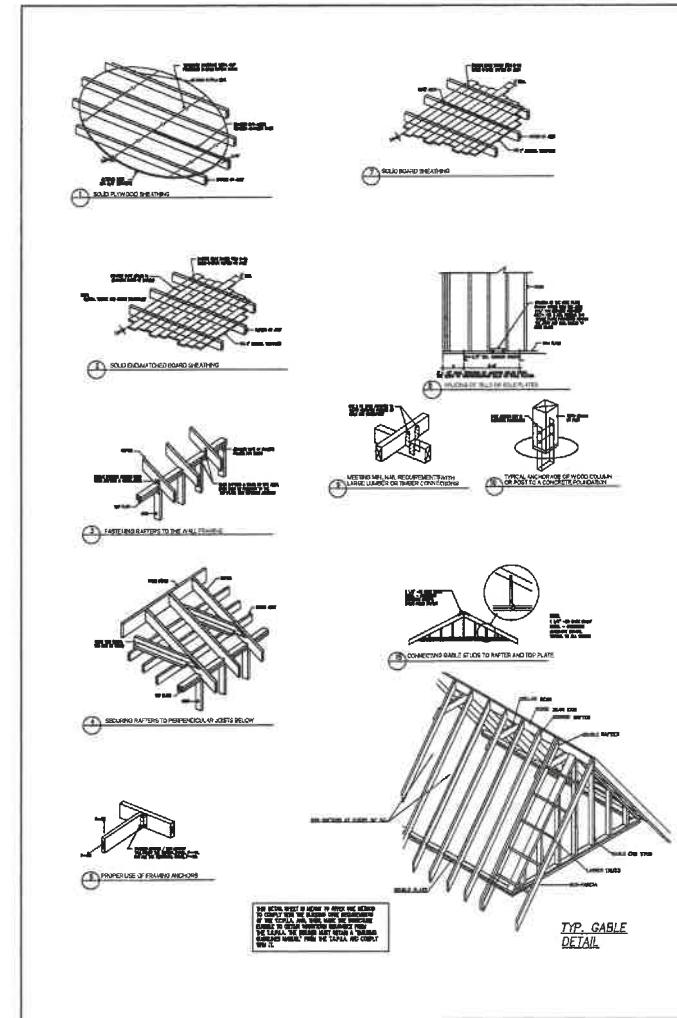
Drawn by: Projects & Construction Araque

2





**FRAMING NOTES**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, FOUNDATION AND STRUCTURAL, BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, THE ARCHITECT WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEPENDENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTERS THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY OPTIMAL TRENDS OR ALTERATIONS TO THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**  
LOT 7

**ROOF**

Project number: \_\_\_\_\_

Date: 6/23/2023 Scale As indicated

Drawn by: Projects & Construction Araque

**3**

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A CARPORT THAT DOES NOT MEET THE MINIMUM REQUIREMENTS ON AN 0.3492-ACRE PARCEL OF LAND IDENTIFIED AS LOT 7, BLOCK A, SOLAR VILLAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Richard Expo on behalf of Ryszard Waszczuk for the approval of a *Specific Use Permit (SUP)* for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Carport* that does not meet the minimum size or setback requirements for a carport in a Single Family 7 (SF-7) District as stipulated by, *Article 04, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:



## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a carport on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- (2) The carport shall not exceed a maximum size of 625 SF.
- (3) The carport shall not exceed a maximum overall height of 17-feet.
- (4) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF SEPTEMBER, 2023.

\_\_\_\_\_  
Trace Johannessen, Mayor

ATTEST:

\_\_\_\_\_  
Kristy Teague, City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: August 21, 2023

2<sup>nd</sup> Reading: September 5, 2023









# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 7/21/2023

PROJECT NUMBER: Z2023-037  
PROJECT NAME: SUP for an Accessory Building at 1796 Mystic Street  
SITE ADDRESS/LOCATIONS: 1796 MYSTIC ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by James and Mary Blocker for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1199-acre parcel of land identified as Lot 8, Block A, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 19 (PD-19), addressed as 1796 Mystic Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	07/20/2023	Approved w/ Comments

07/20/2023: Z2023-037; Specific Use Permit (SUP) for an Accessory Structure at 1796 Mystic Street  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1199-acre parcel of land identified as Lot 8, Block A, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 19 (PD-19), and addressed as 1796 Mystic Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (Z2023-037) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property is zoned Planned Development District 19 (PD-19) for zero-lot-line homes.

I.5 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), accessory buildings proposed in a Planned Development 19 (PD-19) shall adhere to the following requirements:

- (1) Number of Accessory Structures Permitted per Lot: 1
- (2) Maximum SF of Accessory Building: 100 SF
- (3) Minimum Rear Yard Setback: 3 Feet
- (4) Minimum Side Yard Setback: 3 Feet
- (5) Distance Between Buildings: 6 Feet
- (6) Maximum Building Height: 10 Feet

In addition, if there is an existing accessory building greater than 144-SF no additional accessory buildings or structures are permitted.

I.6 In this case, there are no additional accessory structures on the subject property, and the proposed accessory structure is 12' x 10' or 120 SF.

M.7 The accessory structure must be built on an engineered concrete foundation that will support the weight of the proposed accessory building.

M.8 Please review the attached Draft Ordinance prior to the July 25, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than August 8, 2023.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 8, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 15, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 25, 2023.

I.10 The projected City Council meeting dates for this case will be August 21,2023 [1st Reading] and September 5, 2023 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jonathan Browning	07/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/20/2023	Approved w/ Comments

07/20/2023: PER THE ZONING ZERO LOT LINE PD-19 THE LARGEST ACCESSORY BLDG WITHOUT THIS APPROVAL IS 100 SQ FT

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/20/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/17/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Angelica Guevara	07/21/2023	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/19/2023	Approved

No Comments



1796 Mystice St Marked Surve... ed.pdf

1 of 1

No comments-AW





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO. \_\_\_\_\_  
**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.  
DIRECTOR OF PLANNING: \_\_\_\_\_  
CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>

FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>

REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

TREE REMOVAL (\$75.00)

VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**  
<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1796 Mystic Street Rockwall Texas 75082

SUBDIVISION: Newport place LOT: 8 BLOCK: A

GENERAL LOCATION: \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: \_\_\_\_\_ CURRENT USE: \_\_\_\_\_

PROPOSED ZONING: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_

ACREAGE: \_\_\_\_\_ LOTS [CURRENT]: \_\_\_\_\_ LOTS [PROPOSED]: \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: James + Mary Blocker  APPLICANT: \_\_\_\_\_

CONTACT PERSON: Mary Blocker CONTACT PERSON: \_\_\_\_\_

ADDRESS: 1796 Mystic street ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP: Rockwall, Texas 75082 CITY, STATE & ZIP: \_\_\_\_\_

PHONE: 469-467-6310 PHONE: \_\_\_\_\_

E-MAIL: maryeblocker@mail.com E-MAIL: \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mary Blocker [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

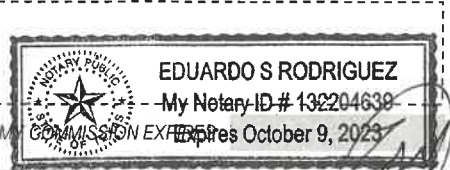
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 275.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF July 20 23 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF July 20 2023

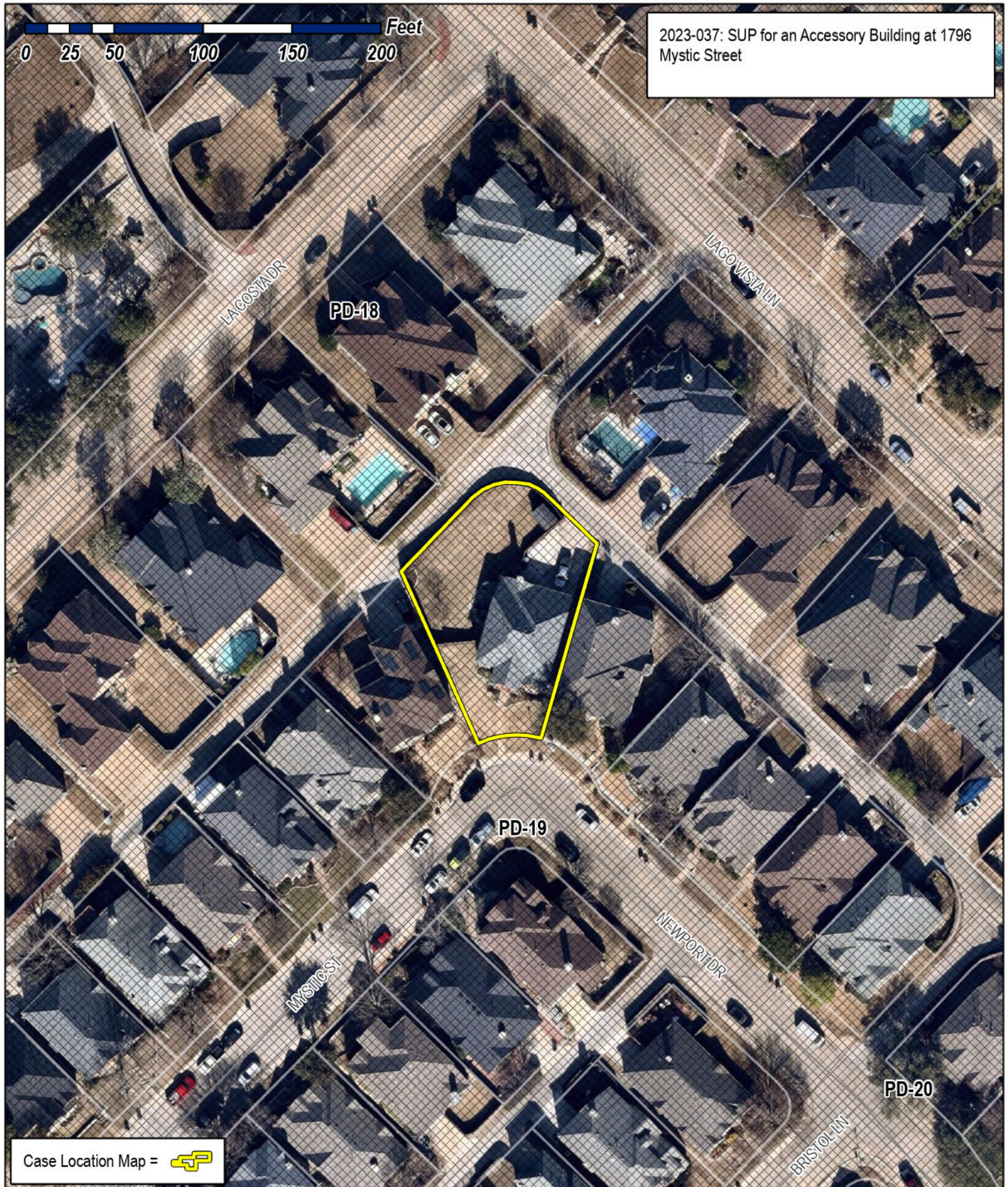
OWNER'S SIGNATURE: [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]







2023-037: SUP for an Accessory Building at 1796 Mystic Street

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



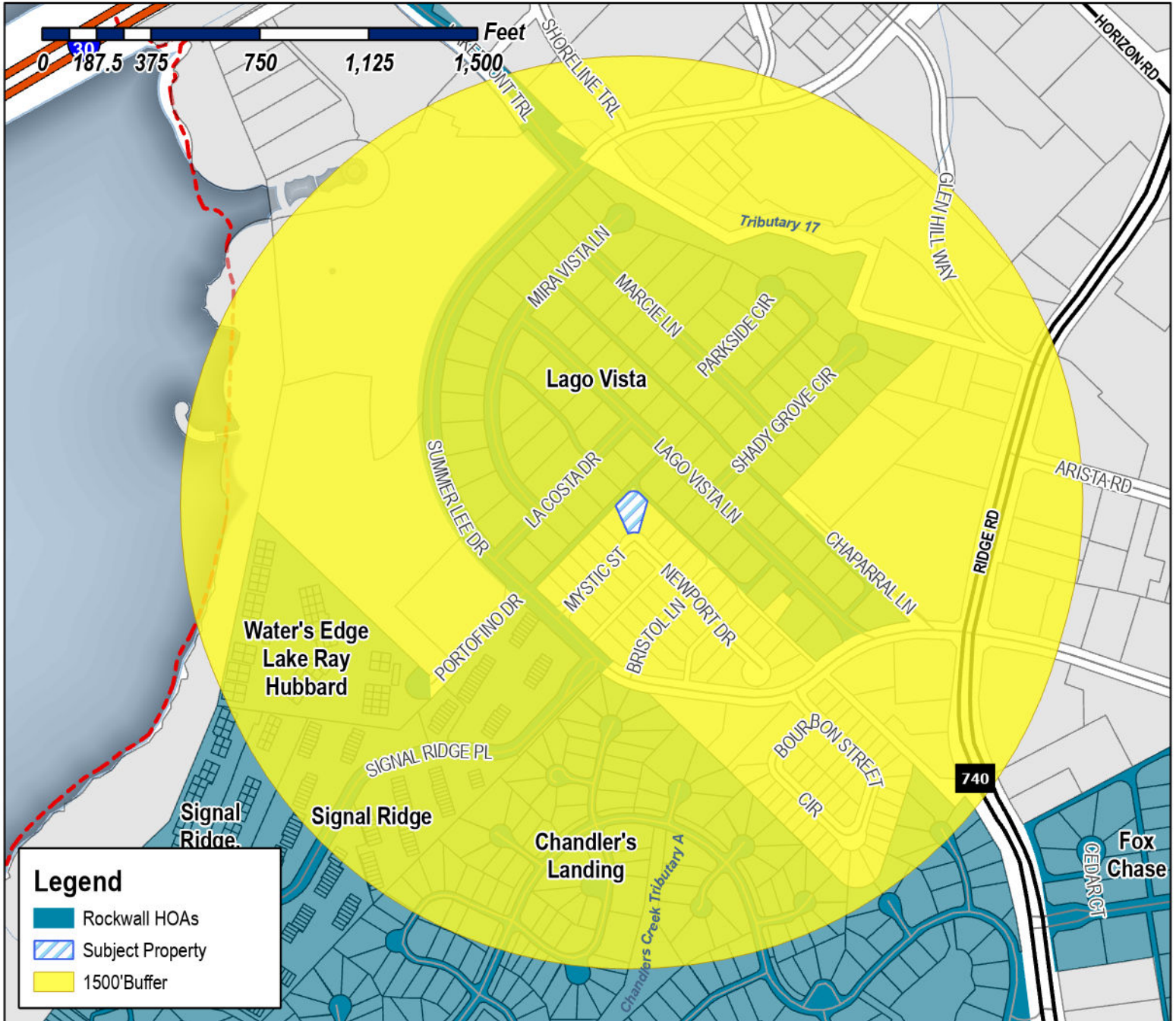




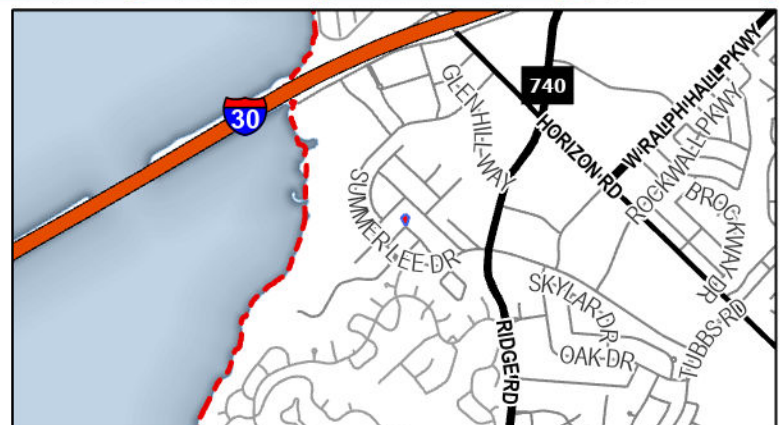
# City of Rockwall

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385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2023-037  
**Case Name:** SUP for an Accessory Building  
**Case Type:** Zoning  
**Zoning:** Planned Development 9 (PD-9)  
**Case Address:** 1796 Mystic Lane



**Date Saved:** 7/14/2023  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#); [Guevara, Angelica](#)  
**Subject:** Neighborhood Notification Program [Z2023-037]  
**Date:** Wednesday, July 19, 2023 9:04:14 AM  
**Attachments:** [HOA Map \(07.14.2023\).pdf](#)  
[Public Notice \(P&Z\) \(7.17.2023\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [July 21, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, August 15, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, August 21, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2023-037: SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by James and Mary Blocker for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1199-acre parcel of land identified as Lot 8, Block A, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 19 (PD-19), addressed as 1796 Mystic Street, and take any action necessary.

-  
Thank you,

*Melanie Zavala*

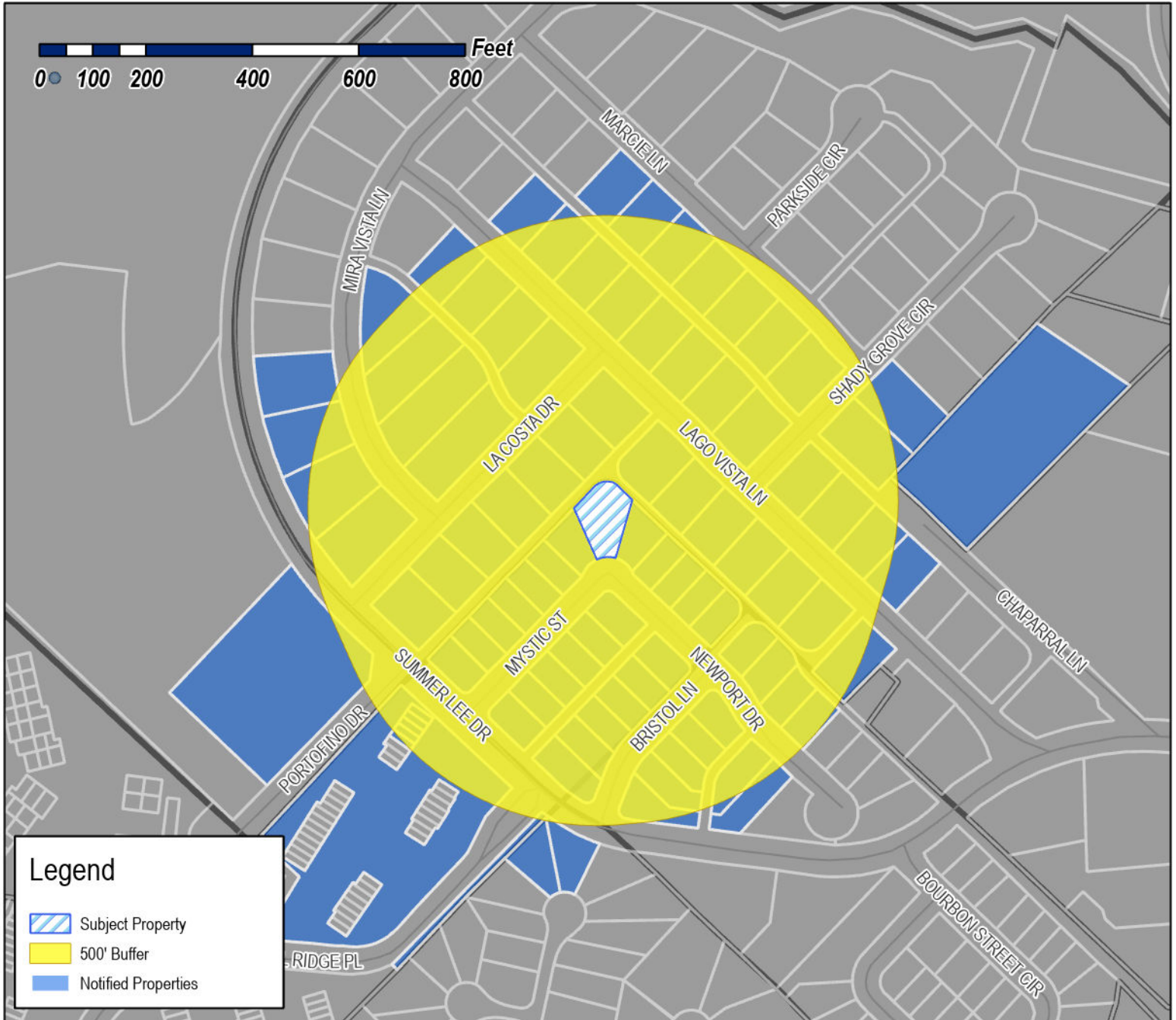
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2023-037  
**Case Name:** SUP for an Accessory Building  
**Case Type:** Zoning  
**Zoning:** Planned Development 9 (PD-9)  
**Case Address:** 1796 Mystic Street



**Date Saved:** 7/14/2023

For Questions on this Case Call: (972) 771-7746



BCL REAL ESTATE LLC  
103 GROSS RD  
MESQUITE, TX 75149

NORTEX PROPERTIES INC  
% JOSEPH L ZEHR  
10808 LA CABREAH LN  
FORT WAYNE, IN 46845

CASTRO CRISTINA  
113 MAYFLOWER CT  
ROCKWALL, TX 75032

JURCA JACOB S AND JACLYN J  
115 MAYFLOWER CT  
ROCKWALL, TX 75032

HPA BORROWER 2016-1 LLC  
120 S RIVERSIDE PLZ SUITE 2000  
CHICAGO, IL 60606

NALBANDIAN SASSOUN  
12335 MCLENNAN AVENUE  
GRANADA HILLS, CA 91344

ABOUD LOUIE BRYAN AND REBEKAH E  
1543 SHADY GROVE CIR  
ROCKWALL, TX 75032

BLENK KENNETH W & LAURA E  
1553 SHADY GROVE CIR  
ROCKWALL, TX 75032

RIKE RHONDA D & GARY R  
1773 LA COSTA DR  
ROCKWALL, TX 75032

AMIN MOHAMMAD N & SAJIDA  
1781 LA COSTA DR  
ROCKWALL, TX 75032

VANG DEBBIE AND YEE  
1791 LA COSTA DR  
ROCKWALL, TX 75032

BLOCKER JAMES ROBERT & MARY KATHERINE  
TRUSTEES  
JAMES & MARY BLOCKER FAMILY TRUST  
1796 MYSTIC STREET  
ROCKWALL, TX 75032

ANSARI MOHAMMAD TARIQ  
1799 LA COSTA DR  
ROCKWALL, TX 75032

TEEL ALVIN AND EUAMDEUANE  
1802 MYSTIC ST  
ROCKWALL, TX 75032

REYNOLDS MICHAEL W AND STEPHANE  
1803 MYSTIC STREET  
ROCKWALL, TX 75032

RESIDENT  
1806 MYSTIC ST  
ROCKWALL, TX 75032

MOSS WILLIAM B & COLLEEN W  
1806 BRISTOL LN  
ROCKWALL, TX 75032

DENYSSCHEN REGENALD R & SALLY  
1807 LA COSTA DR  
ROCKWALL, TX 75032

LORD DEE A  
1809 BRISTOL LN  
ROCKWALL, TX 75032

SHIELDS KENNETH L AND SANDRA J  
1809 MYSTIC STREET  
ROCKWALL, TX 75032

RESIDENT  
1810 MYSTIC ST  
ROCKWALL, TX 75032

RESIDENT  
1812 BRISTOL LN  
ROCKWALL, TX 75032

RIDDLE LARRY W & NANCY  
1813 MYSTIC ST  
ROCKWALL, TX 75032

ELVIA INV LLC  
1814 MYSTIC ST  
ROCKWALL, TX 75032

MARTIN GRAHAM S AND  
SAMANTHA M BARTELL  
1815 BRISTOL LANE  
ROCKWALL, TX 75032

GATSON OSCAR D & PATSY M  
1816 BRISTOL LN  
ROCKWALL, TX 75032

LASPE FAMILY TRUST  
FORREST ROBERT LASPE & NANCY KAY LASPE,  
TRUSTEES  
1817 LA COSTA DR  
ROCKWALL, TX 75032

ESPINOZA CARLOS DAVID AND KATIE LYNN  
1817 MYSTIC STREET  
ROCKWALL, TX 75032

FITZGERALD LARRY AND JEANA MARIE  
1818 MYSTIC STREET  
ROCKWALL, TX 75032

FLOYD LISA  
1819 BRISTOL LN  
ROCKWALL, TX 75032

GONZALES KAYLEIGH AND RICHARD  
1820 BRISTOL LANE  
ROCKWALL, TX 75032

FUENTES DANIEL & LISA  
1821 MYSTIC ST  
ROCKWALL, TX 75032

WILSON PATRICIA  
1822 MYSTIC ST  
ROCKWALL, TX 75032

RESIDENT  
1823 BRISTOL LN  
ROCKWALL, TX 75032

PATRICK JANET  
WILLIAMS PAUL KIRKLAND  
1824 BRISTOL LN  
ROCKWALL, TX 75032

FORD SAMUEL M & SUSAN D  
1825 LA COSTA DR  
ROCKWALL, TX 75032

RESIDENT  
1827 MYSTIC ST  
ROCKWALL, TX 75032

WHITE LISA  
1828 MYSTIC ST  
ROCKWALL, TX 75032

TIPPS MIGUEL  
1829 BRISTOL LN  
ROCKWALL, TX 75032

PHILLIPS DEBRA  
1830 BRISTOL LN  
ROCKWALL, TX 75032

BOJORQUEZ MANUEL & LYNSEY  
19185 PALM VIS  
YORBA LINDA, CA 92886

RESIDENT  
1995 SUMMER LEE DR  
ROCKWALL, TX 75032

HENDERSON DON AND MARIA  
234 BRISTOL CT  
HEATH, TX 75032

HENDERSON DON AND MARIA  
234 BRISTOL CT  
HEATH, TX 75032

SWERCINSKY CAPRICE MICHELLE  
240 WILLOWCREST  
ROCKWALL, TX 75032

ROCKWALL LOT 3 OWNER LLC  
255 ALHAMBRA CIRCLE SUITE 760  
CORAL GABLES, FL 33134

HOWELL BRIAN K  
2704 FOXCHASE LN  
ROCKWALL, TX 75032

POLGAR ROBERT PETER & MARLA  
2807 MIRA VISTA LN  
ROCKWALL, TX 75032

BRADFORD PATRICIA L  
2816 LAGO VISTA LN  
ROCKWALL, TX 75032

JOHNSTON MARK D AND LISA P  
2818 MIRA VISTA LN  
ROCKWALL, TX 75032

HEDGPETH JAMES L & JANIE M  
2821 LAGO VISTA LN  
ROCKWALL, TX 75032

MENG HENG AND KUYKHIM CHAN  
2823 MIRA VISTA LN  
ROCKWALL, TX 75032

NGUYEN LE MINHCHAU AND  
BRYAN NGUYEN LE AND JESSICA NGUYEN LE  
2824 LAGO VISTA LN  
ROCKWALL, TX 75032

MCBANE JANET T AND  
TRESA LEE MCBANE  
2828 MIRA VISTA LN  
ROCKWALL, TX 75032

JAMES PATRICK W & TERESA F  
2829 LAGO VISTA LN  
ROCKWALL, TX 75032

WAISNER CYNTHIA L AND GLEN R WAISNER JR  
2830 MARCIE LANE  
ROCKWALL, TX 75032

TOLBERT MELISSA RENAE  
2834 LAGO VISTA LANE  
ROCKWALL, TX 75032

POLLOCK REX L & RITA K  
2835 MIRA VISTA LN  
ROCKWALL, TX 75032

WOMBLE JOHN & GINGER  
2836 MIRA VISTA LN  
ROCKWALL, TX 75032

MYERS RYAN AND ALEJANDRA  
2837 LAGO VISTA LANE  
ROCKWALL, TX 75032



MANI KARTHICK  
2838 MARCIE LN  
ROCKWALL, TX 75032

KURIAN P K & THANKAMA  
2842 LAGO VISTA LN  
ROCKWALL, TX 75032

TAGGART MICHAEL AND KELLY  
2843 MIRA VISTA LN  
ROCKWALL, TX 75032

SOLERO DANIEL J AND ANDREA  
2844 MIRA VISTA LN  
ROCKWALL, TX 75032

GIBSON KAREN R & BRUCE K  
2845 LAGO VISTA LANE  
ROCKWALL, TX 75032

WILONSKY MICHAEL F & HOLLY L HAMMOND-  
WILONSKY  
2846 MARCIE LANE  
ROCKWALL, TX 75032

MEADE BRENDA S  
2853 LAGO VISTA LN  
ROCKWALL, TX 75032

SANFORD CLOVIS E & BARBARA  
2854 MARCIE LN  
ROCKWALL, TX 75032

CENTER JESSICA AND BRENT DAVID  
2862 MARCIE LANE  
ROCKWALL, TX 75032

KIM YONG WOO  
2863 LAGO VISTA LN  
ROCKWALL, TX 75032

RESIDENT  
2870 MARCIE LN  
ROCKWALL, TX 75032

MILLER JIMMIE D II & KELLI R  
2871 LAGO VISTA LN  
ROCKWALL, TX 75032

BROWNING DONNA J  
2872 LAGO VISTA LN  
ROCKWALL, TX 75032

SHUPP TERRY & BETTY  
2879 LAGO VISTA LN  
ROCKWALL, TX 75032

RESIDENT  
2880 MARCIE LN  
ROCKWALL, TX 75032

RUBENSTEIN ALAN & GINA STRICKLIN  
2880 LAGO VISTA LANE  
ROCKWALL, TX 75032

HEINDEL MATTHEW A & HEATHER  
2881 NEWPORT PLACE  
ROCKWALL, TX 75032

QUINTERO BERTHA L  
2885 NEWPORT DR  
ROCKWALL, TX 75032

GILGER LIVING TRUST  
MAC J GILGER AND REBECCA L  
2888 LAGO VISTA LN  
ROCKWALL, TX 75032

RESIDENT  
2889 NEWPORT DR  
ROCKWALL, TX 75032

GWIE KIONG OEN & RONY THERESIA  
2901 NEWPORT DR  
ROCKWALL, TX 75032

WALLS DEREK P & KAREN J  
2904 LAGO VISTA LN  
ROCKWALL, TX 75032

MAILLY FAMILY TRUST  
BRUCE W AND EVE C MAILLY  
2905 LAGO VISTA LANE  
ROCKWALL, TX 75032

DEVYANI SEEMA T  
2905 NEWPORT DRIVE  
ROCKWALL, TX 75032

ENGLISH-RIEGER CAROL W  
2911 LAGO VISTA LN  
ROCKWALL, TX 75032

VEGA EMMANUEL M VILLA  
2911 NEWPORT DRIVE  
ROCKWALL, TX 75032

RESIDENT  
2912 LAGO VISTA LN  
ROCKWALL, TX 75032

RESIDENT  
2917 NEWPORT DR  
ROCKWALL, TX 75032

MASSEY CHARLES A & ROYCE A  
2919 LAGO VISTA LN  
ROCKWALL, TX 75032

WAFFER DANNY KAY  
2920 LAGO VISTA LANE  
ROCKWALL, TX 75032

RESIDENT  
2923 NEWPORT DR  
ROCKWALL, TX 75032

MACIVOR ZARAH  
2927 LAGO VISTA LANE  
ROCKWALL, TX 75032

CRIBARI JAMES & DEBBIE  
2928 NEWPORT DRIVE  
ROCKWALL, TX 75032

HAGOS SELAMAWIT AND  
EMANUELE DI STEFANO  
2929 NEWPORT PLACE  
ROCKWALL, TX 75032

SMITH JAY E & KRISTY A  
2932 LAGO VISTA LN  
ROCKWALL, TX 75032

MONSERATE NIDA S & MACARIO  
2934 NEWPORT DR  
ROCKWALL, TX 75032

NAIDOO PAUL  
3904 ASPEN DR #3123  
ROWLETT, TX 75088

RESIDENT  
400 CHAPARRAL LN  
ROCKWALL, TX 75032

YANO SHINYA  
C/O OPEN HOUSE CO., LTD,  
5050 QUORUM DRIVE SUITE 610  
DALLAS, TX 75254

KING LINDA D REV LIVING TR  
LINDA D KING TRUSTEE  
519 E INTERSTATE 30  
ROCKWALL, TX 75087

ABARCA CARLOS ALBERTO RIVERS  
7709 BRIARCREST CT  
IRVING, TX 75063

RESIDENT  
801 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CRUZ WILLIAM  
820 FAITH TRL  
HEATH, TX 75032

RESIDENT  
901 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

LOYCE HOPKINS 2017 REVOCABLE TRUST  
LOYCE ANN HOPKINS TRUSTEE  
902 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

TURANO DEBRA SUE  
903 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
904 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CHAPMAN LAURA J AND RONALD L  
905 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

KRUGER KARIN  
P O BOX 1388  
ROCKWALL, TX 75087

HAQ REZA AHMED & SHELINA KARIM  
PO BOX 6952  
HUNTSVILLE, AL 35813

PARAMOUNT LAURELS LLC  
PO BOX 786  
WYLIE, TX 75098



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-037: SUP for an Accessory Building**

Hold a public hearing to discuss and consider a request by James and Mary Blocker for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1199-acre parcel of land identified as Lot 8, Block A, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 19 (PD-19), addressed as 1796 Mystic Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-037: SUP for an Accessory Building**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

7509 PENNRIDGE CIRCLE  
ROWLETT, TX 75088

# SURVEY PLAT

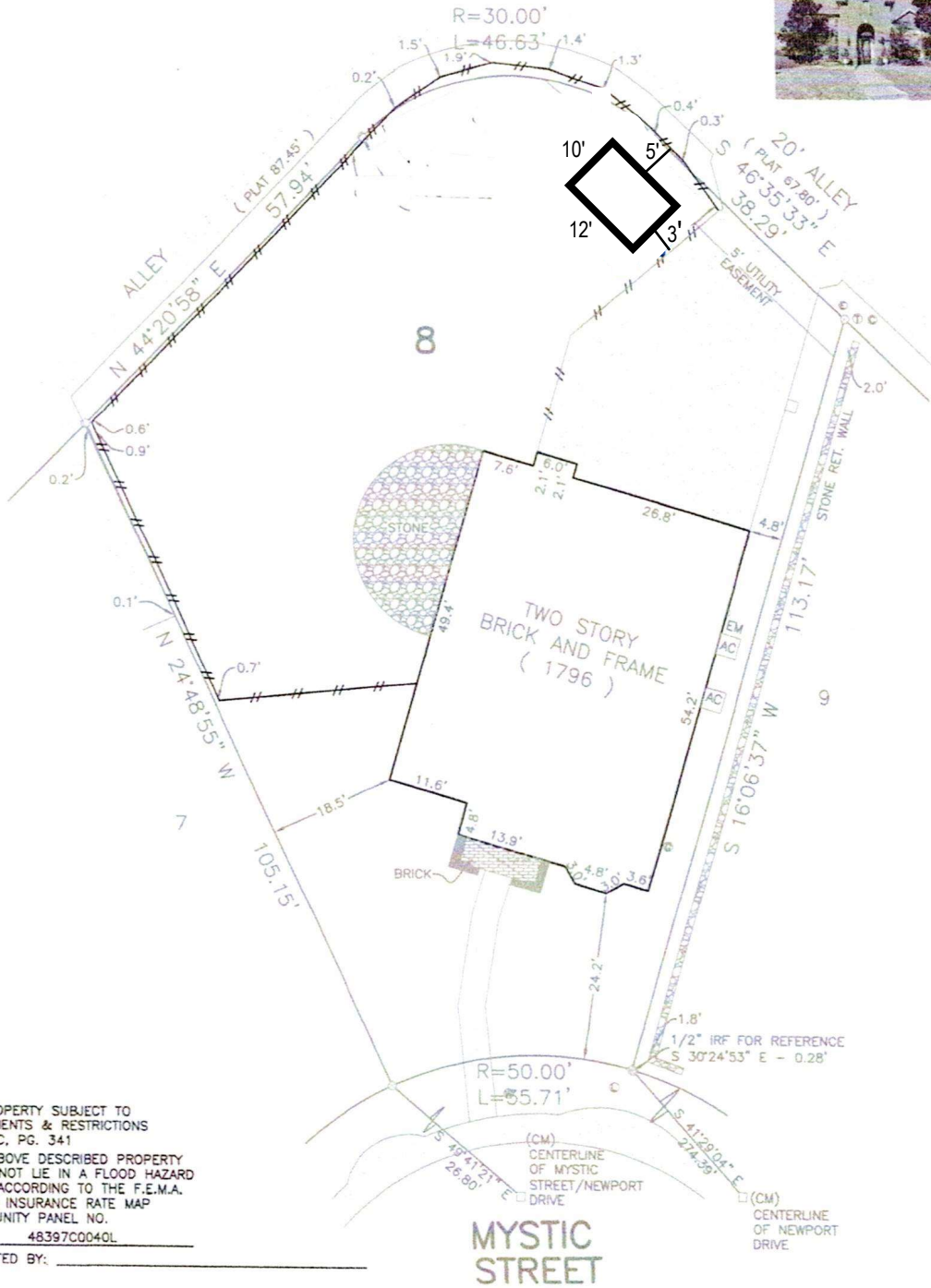


FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 1796 MYSTIC STREET in the City of ROCKWALL Texas.

Being Lot 8, Block A, RePlat Newport Place, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Slide 393, Plat Records, Rockwall County, Texas.



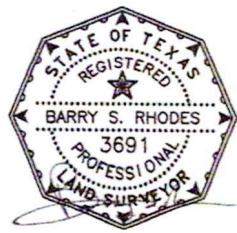
PROPERTY SUBJECT TO EASEMENTS & RESTRICTIONS VOL. C, PG. 341  
THE ABOVE DESCRIBED PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48397C0040L

ACCEPTED BY: \_\_\_\_\_

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY TEXAS PREMIER TITLE  
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.  
Scale: 1" = 20'  
Date: 10/30/2020  
G. F. No.: TPT20-04264JP  
Job no.: 202008582  
Drawn by: BG  
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.  
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR TEXAS PREMIER TITLE

LEGEND

WOOD FENCE	---	TEXT
CHAIN LINK	-O-	APPROXIMATE
IRON FENCE	---	BOUNDARY LINE
WIRE FENCE	-X-	RESIDENCE
CM	-	CONTROLLING INSTRUMENT
1/2" IRON ROD FOUND	○	
1/2" YELLOW-CAPPED IRON ROD SET	○	
SET "X"	○	
FOUND "X"	○	
5/8" IRON ROD FOUND	○	
POINT FOR CORNER	○	
C	-	CABLE
○	-	ELECTRIC
○	-	POOL EQUIP
○	-	CLEAR CUT
○	-	POWER POLE
○	-	GAS METER
○	-	TELEPHONE
○	-	FIRE HYDRANT
○	-	LIGHT POLE
○	-	WATER METER
○	-	MANHOLE
○	-	WATER VALVE
(	-	UNLESS OTHERWISE NOTED





CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 19 (PD-19) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN *ACCESSORY STRUCTURE* ON A 0.1199-ACRE PARCEL OF LAND IDENTIFIED AS LOT 8, BLOCK A, NEWPORT PLACE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by James and Mary Blocker for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 0.1199-acre parcel of land identified as Lot 8, Block A, Newport Place Addition, City of Rockwall, Rockwall County, Texas, addressed as 1796 Mystic Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 19 (PD-19) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 19 (PD-19) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of an *Accessory Structure* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 19 (PD-19) and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the future* -- and

with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of an *Accessory Structure* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of an *Accessory Structure* on the *Subject Property* shall generally conform to the *Building Elevations and Accessory Structure Details* depicted in *Exhibit 'C'* of this ordinance.
- (3) The *Accessory Structure* shall be built on an concrete foundation that will support the weight of the proposed structure.
- (4) The *Accessory Structure* shall not exceed a maximum building footprint or size of 120 SF.
- (5) The maximum height of the *Accessory Structure* shall not exceed a maximum of 10-feet as measured from the mid-point of the pitched roof.
- (6) The *Accessory Structure* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of



any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF SEPTEMBER, 2023.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 21, 2023

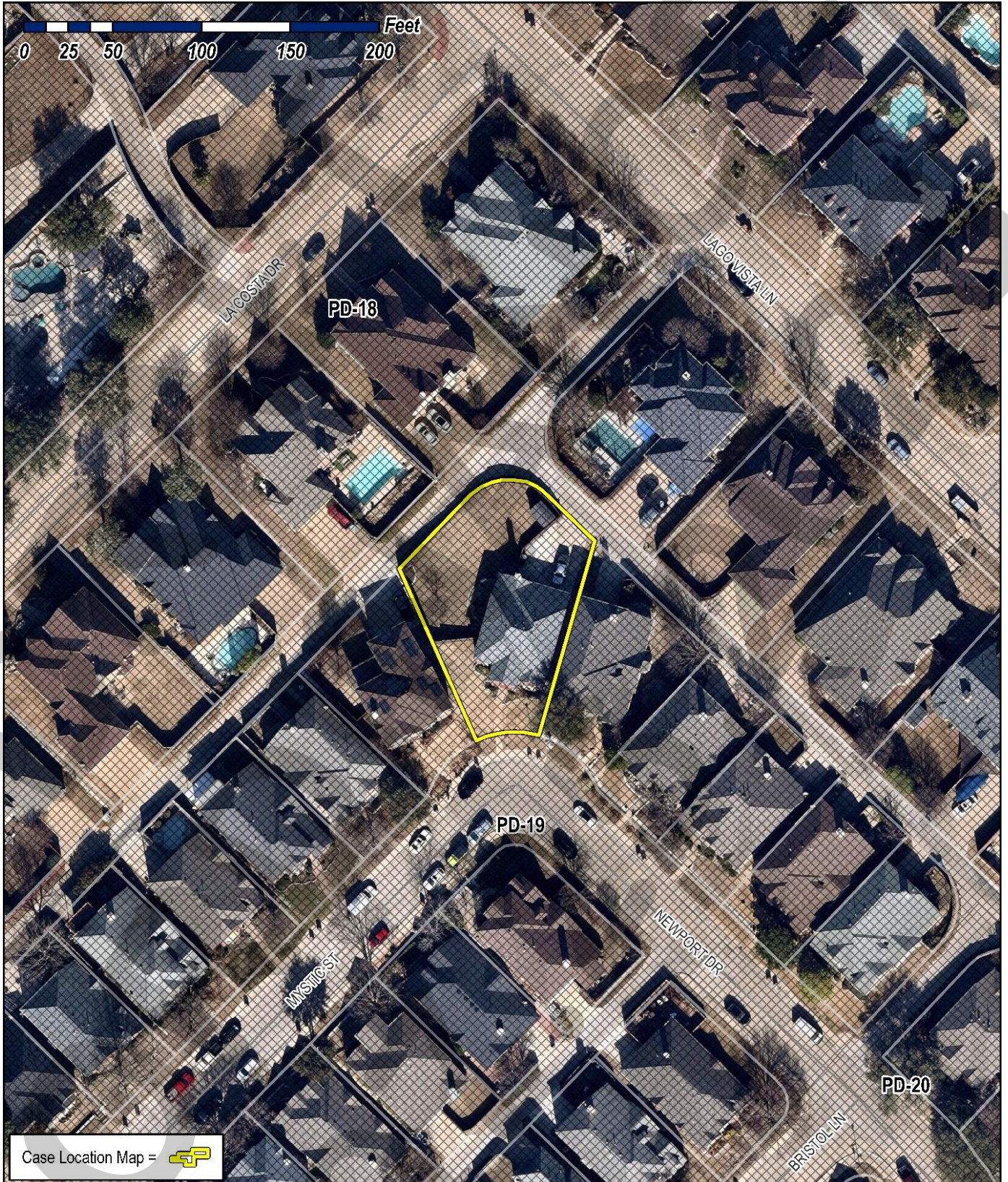
2<sup>nd</sup> Reading: September 5, 2023



**Exhibit 'A'**  
**Location Map and Legal Description**

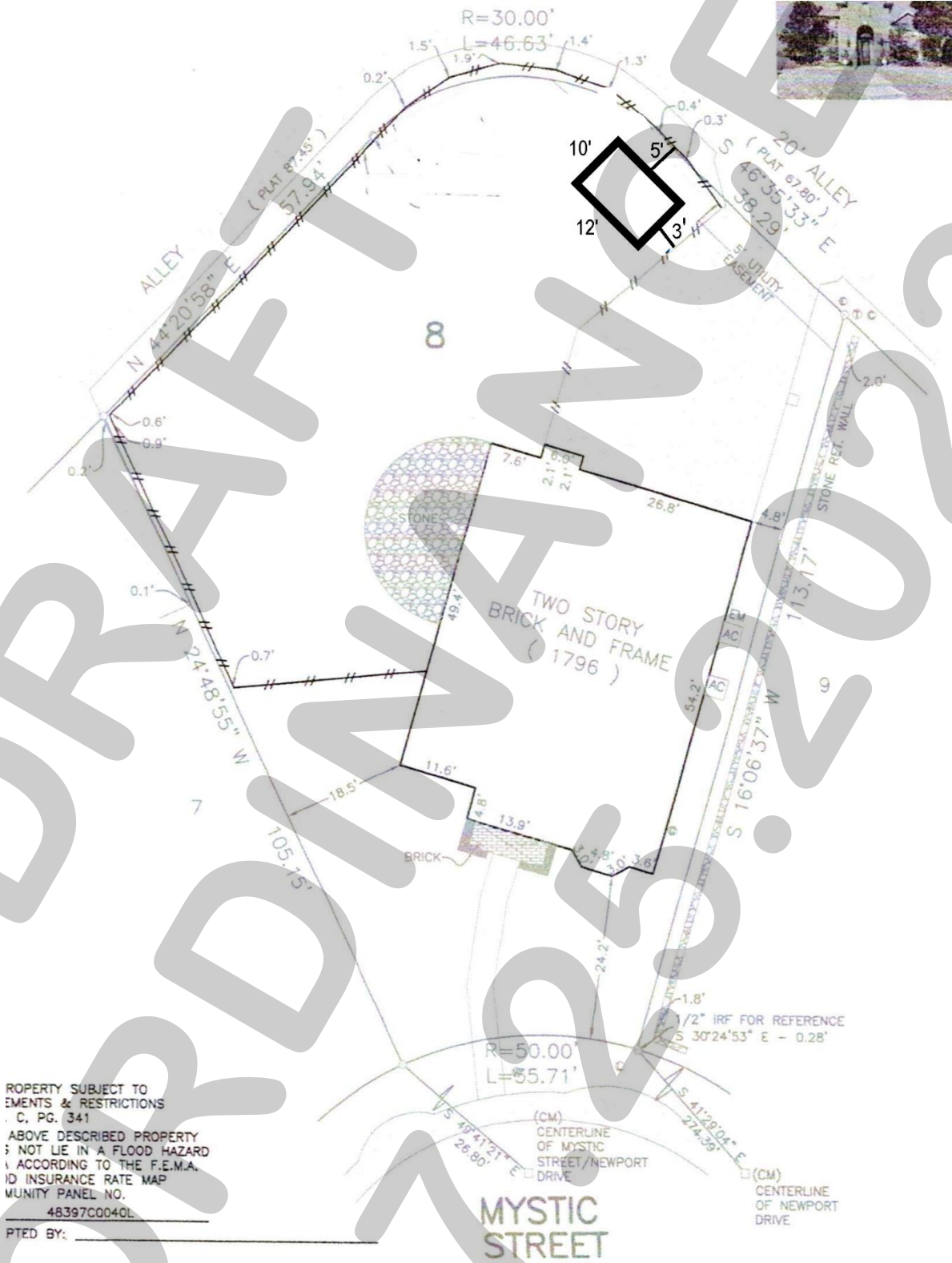
Address: 1796 Mystic Street

Legal Description: Lot 8, Block A, Newport Place Addition





**Exhibit 'B':  
Site Plan**



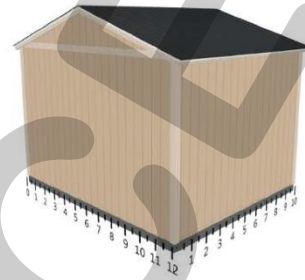
PROPERTY SUBJECT TO  
EASEMENTS & RESTRICTIONS  
C. PG. 341  
ABOVE DESCRIBED PROPERTY  
DOES NOT LIE IN A FLOOD HAZARD  
AREA ACCORDING TO THE F.E.M.A.  
FLOOD INSURANCE RATE MAP  
COMMUNITY PANEL NO.  
48397C0040L

PREPARED BY: \_\_\_\_\_

**Exhibit 'C':**  
*Building Elevations & Accessory Structure Details*



Wall A



Wall C

Wall D



Wall B

**Base Details/Permit Details**

**Building Size & Style**  
TR-800 - 12' wide by 10' long

**Paint Selection**  
Base: No Paint, Trim: No Paint

**Roof Selection**  
Charcoal Dimensional Premium Shingle

**Drip Edge**  
White

**Is a permit required for this job?**  
Yes, Engineering fees still apply

**Who is pulling the permit?**  
Customer

**Optional Details**

**Doors**  
3' x 6'7" Double Shed Door (6')

**Walls**  
362 Sq Ft House Wrap

**Roof**  
137 Sq Ft Radiant Barrier Roof Decking

**Floor and Foundation**  
120 Sq Ft 3/4" Treated Floor Decking Upgrade

**Jobsite/Installer Details**

**Do you plan to insulate this building after Tuff Shed installs it?**  
Yes

**Is there a power outlet within 100 feet of installation location?**  
Yes

**The building location must be level to properly install the building. How level is the install location?**  
Within 4" of level

**Will there be 18" of unobstructed workspace around the perimeter of all four walls?**  
Yes

**Can the installers park their pickup truck & trailer within approximately 200' of your installation site?**  
Yes

**Substrate Shed will be installed on?**  
Not Anchored to Concrete with Shed Floor



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 7/21/2023

PROJECT NUMBER: SP2023-022  
PROJECT NAME: Site Plan for 1760 Airport Road  
SITE ADDRESS/LOCATIONS: 1760 AIRPORT RD

CASE CAPTION: Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a warehouse/office development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	07/20/2023	Approved w/ Comments

07/20/2023: SP2023-022; Site Plan for 1760 Airport

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a warehouse/office development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, and addressed as 1760 Airport Road.

I.2 The subject property will be need to be replatted after the engineering process to establish the property line and new easements.

M.3 Provide the City standard Site Plan Signature Block on all sheets of the plans. Please remove the bracketed wording and leave a blank space for the date.

I.4 If you decide to phase this project out, please keep in mind that site plans expire after two (2) years of inactivity, engineering plans expire after a year of inactivity, and building permits expire after 180 days of inactivity from approval date.

M.5 Site Plan:

- 1) Please add a numeric and graphic scale. (Subsection 03.04.A, of Article 11, UDC)
- 2) Label the new fire lane as "Fire Lane and Utility Easement." (Subsection 03.04. B, of Article 11, UDC)
- 3) Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. (Subsection 01.05. B, of Article 05, UDC) Move the trash enclosures to a location which will not be seen from the public right-of-way of Airport Road and rotate them at a 45 degree angle so that Republic can successfully pickup the trash. Also, thin stone veneer will need to be used as the only material for the trash enclosures.
- 4) Indicate the subsequent screening and location of pad mounted equipment. You will need proper spacing for Fire Access (10-feet). I would suggest checking with Ariana Kistner (City of Rockwall Fire Marshall) on spacing. (Subsection 01.05. C, of Article 05, UDC)

M.6 Landscape Plan:

- a) All parking spaces shall be within 80' of a canopy tree. (Subsection 05.03.E, Article 08, UDC)

- b) All Canopy trees must be a minimum of four (4) inch caliper. (Section 04, Article 08, UDC)
- c) Shrubs shall be a minimum of three (3) gallons in size. (Section 04, Article 08, UDC)
- d) Provide a landscape table that specifies the size and type of landscape used. (Subsection 05.03.B, Article 08, UDC)
- e) Provide one canopy tree per 750 SF of detention area and one accent tree for every 1,500 SF of detention area. Please provide square footage for the detention area. (Subsection 05.03.D, Article 08) Alternatively, you can request a xeriscape/smartscape detention area. This would incorporate native grasses in lieu of turf and instead of requiring one canopy tree per 750 SF and one accent tree for every 1,500 SF, a shrub or ornamental grass every 750 SF of dry land area shall be required to be planted on site or around the detention area. (Subsection 05.05.C.2, of Article 08, UDC) Some native grass varieties that have been used in the past are: Big bluestem, cereal ryegrass, eastern gamagrass, green sprangletop, prairie wildrye, switchgrass, wild tridens, broomsedge bluestem, blackland prairie, and bushy bluestem. Check with Travis Sales (Director of Parks and Recreation) for anymore clarification on this matter.
- f) Please provide the required screening along the southern property line.

M.7 Photometric Plan:

- a) Please indicate the FC measurement for each of the proposed lights. The maximum outdoor maintained, computed, and measured illumination level within any nonresidential development shall not exceed 20 FC at any point on the site. (Subsection 03.03.G, of Article 07, UDC)
- b) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one-foot candle. (Subsection 3.03.C, of Article 07, UDC) Please indicate at the property line not within the right-of-way of Airport Road.

M.8 Building Elevations:

- a) Provide a numeric and graphic scale (Subsection 03.04.A, of Article 11, UDC)
- b) Provide the material percentages for all materials on the building. (Subsection 05.01, of Article 05, UDC)
- c) The garage bay doors for buildings 6 and 7 are not internal to the site therefore require three (3) tiered screening (i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees). Also, three (3) tiered screening will be required since the adjacent property is residentially zoned (i.e. the southern and western properties lines are adjacent to properties that are zoned Agricultural [AG] District). On portions of this site this will cause an issue with the airport overlay zone; however, there are areas outside of this zoned where screening could be added to bring the request closer into conformance. An exception will need to be requested from the Planning and Zoning Commission.
- d) The use of 90% masonry material is required, however this requirement is not met, which is not uncommon for large industrial building. Typically, larger buildings will cluster these materials around the entryways. This will require a variance to the Unified Development Code (UDC). (Subsection 06.02. C. of Article 05, UDC)
- e) The use of 20% natural or quarried stone is required, however this requirement is not met, which is not uncommon for large industrial building. This will require a variance to the Unified Development Code (UDC). (Subsection 06.02. C. of Article 05, UDC)
- f) The primary and secondary articulation standards are not met, which is not uncommon with large industrial buildings. This will require a variance to the Unified Development Code (UDC). (Subsection 05.01. C.1. of Article 05, UDC)
- g) Provide a note that the parapet will be finished on both sides. (Subsection 04.01, of Article 05, UDC)
- h) Roof systems (i.e. parapet) must be enclosed on all four sides of the building. (Subsection 05.01.A.2, of Article 05, UDC)

M.9 Based on the materials submitted staff has identified the following exceptions for this project:

- (1) Building Articulation
  - a. Primary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all primary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C1. In this case the two (2) primary facades do not meet these standards.
  - b. Secondary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C2. In this case the two (2) secondary facades do not meet these standards.
- (2) Primary Materials. According to Subsection 05.01.A.1(a) of Article 05, Development Standards, of the Unified Development Code (UDC), exterior walls should consist of 90% masonry materials.
- (3) 20% Stone. According to Article 05, General Industrial District Standards, of the Unified Development Code (UDC), a minimum of 20% natural or quarried stone is required on all building façades.
- (4) Screening of Loading Docks. According to Subsection 05.02(A), Loading Docks and Outside Storage Areas, of Article 08, Landscape and Fence Standards, of the of the Unified Development Code (UDC), three-tiered screening is required to screen loading docks from adjacent properties.

M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or



variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance. (Subsection 09.02, of Article 11). Compensatory measures to consider:

- (1) Higher caliper trees.
- (2) Additional landscaping.
- (3) Increased building articulation.
- (4) Increased architectural elements.
- (5) Building materials conforming to the General Overlay District requirements.

M.11 Please consider making the following changes to the site plan:

- (1) Remove the loading docks on Buildings 6 & 7 or redesign the building layout so that these overhead doors are properly screened.
- (2) Incorporate the required three-tiered screening in the areas outside of the airport overlay zone.
- (3) Meet the minimum material requirements on Buildings 1, 7, & 6 as stipulated by the Unified Development Code (UDC).

M.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 8, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 15, 2023 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on July 25, 2023
- (2) Planning & Zoning meeting/public hearing meeting will be held on August 15, 2023.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jonathan Browning	07/19/2023	Needs Review

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/20/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/20/2023	Needs Review

07/20/2023: Show location of all fire department connections (FDCs)

FDC shall be within 50 feet of, facing, and visible from the fire lane.

FDC must be within 100 feet of a fire hydrant.

The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/17/2023	Approved w/ Comments

07/17/2023: Please submit a suite numbering plan for the site.

Example: (One Story buildings: All suites must be numbers 1XX)

1760 AIRPORT RD, BUILDING 1, SUITE 101,103,105...

1760 AIRPORT RD, BUILDING 2, SUITE 102,104,106...

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany Ross	07/21/2023	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/19/2023	Approved w/ Comments

07/19/2023: 1. Please provide tree caliper inch sizes

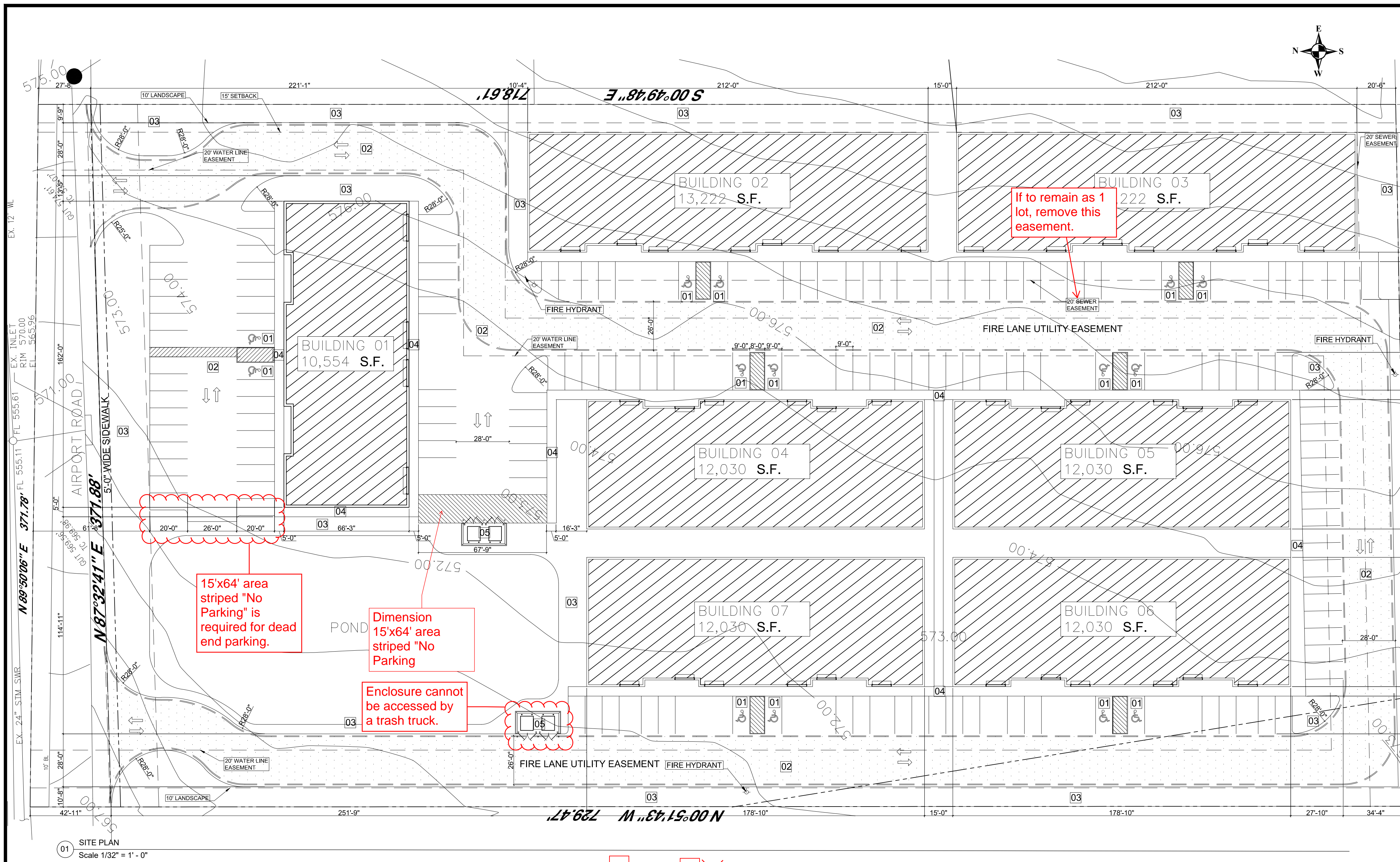
2. Container versus ball and burlap

3. All parking must be within 80' of a tree canopy

4. Please provide calculations for detention pond trees (1) canopy tree per 750sqft and (1) accent tree per 1,500 sqft of detention

5. Please ensure shrub row along Airport is continuous for head light glare requirement.





**ADA & TAS**  
FOR ADA AND TAS REQUIREMENT FOR GRADING AND ACCESSIBLE R

**FIRE LANE NOTES**  
CURBS LOCATED BETWEEN A PLACED ALONG THE PAVEMENT WITH THE WARNING "FIRE LANE EXCEEDING FIFTY (50) FEET."  
ANY COLOR OTHER THAN RED PAVEMENT STRIPING OR WH BY THE CODE OFFICIAL.  
WHERE FIRE LANE SIGNS ARE COLUMN, IMMEDIATELY BEL  
HEIGHT OF THE SIGNS SHALL BOTTOM EDGE OF THE LOWE  
FIRE LANE SIGNS SHALL BE PLACED BOTTOM EDGE OF THE ACCESS ROA  
ALL REQUIRED FIRE LANES SH INCH (6") WIDE RED BACKGR  
WHITE LETTERS STATING "FIRE LANE ALONG THE ENTIRE LENGTH OF THE  
FIRE LANE MARKINGS SHALL  
FIRE LANE TOW-AWAY ZONE  
ON CURBLESS DRIVEWAYS, TI  
WHITE LETTERS STATING "FIRE LANE ZONE" TO BE PAINTED UPON THE EXACT BOUNDARY OF THE FIRE LANE

**FIRE LANE**  
PAINT DESIGNATED CURBS WITH PAVEMENT WHERE THERE IS NO WARNING "FIRE LANE TOW AWAY"

**NOTE PARKING**  
NOTE 1:  
ACCESSIBLE PARKING SPACE ANY DIRECTION. THE WALKWAY COMPONENTS: ACCESSIBLE WALKING SURFACES WITH A 1% EXCLUDING THE FLARED SIDE SHALL COMPLY WITH THE APP 403.3 SLOPE. THE RUNNING SLOPE OF WALKING SURFACE 502.4 FLOOR OR GROUND SUR WITH 302. ACCESS AISLES SH LEVEL ARE NOT PERMITTED.  
NOTE 2:  
THE AREA REQUIRED FOR MA LEVEL DOES NOT EXCEED 1:4 404.2.4 MANEUVERING CLEAR COMPLY WITH 404.2.4. MANEU REQUIRED LATCH SIDE OR HI 404.2.4.4 FLOOR OR GROUND CLEARANCES SHALL COMPLY EXCEPTIONS: 1. SLOPES NOT COMPLYING WITH 404.2.5 SHA

**PARKING REQUIRE**  
WAREHOUSE TOTAL AREA: 85 OFFICES: 9,852 / 300 ; 33 SPAC WAREHOUSE: 75,266 / 1,000: 7

**TOTAL REQUIRED**  
**TOTAL PROVIDED**  
INCLUDED 14 HANDICAP VAN

**General Items:**  
- Must meet City's 2023 Standards of Design and Construction  
- 4% Engineering Inspection Fees  
- Impact Fees (Water, Wastewater & Roadway)  
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.  
- Retaining walls 3' and over must be engineered.  
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.  
- All utilities must be underground  
- Need to show proposed water and sewer on site plan

**Drainage Items:**  
- Detention is required. Use the Modified Rational Method for acreages less than 20acres.  
- Dumpster areas to drain to oil/water separator and then to the storm lines. Need to show dumpster area.  
- No vertical walls allowed in detention easement. 4:1 maximum side slopes.  
- No public water or sanitary sewer allowed in detention easement  
- All detained water must drain to the existing system at the SE corner of John King and Airport.  
- Must have a 20' drainage easement adjacent to Airport.

**Water and Wastewater Items:**  
- Must loop minimum 8" water line on site.  
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)  
- Minimum public sewer is 8". Must connect to the sewer line to the southeast. Will need a Railroad permit to cross their ROW and off-site sewer easement(s). Must extend 8" sewer to western property line.  
- Water and sewer must be 10' apart.  
- Will need a utility crossing permit from the railroad  
- To connect to existing water full panel concrete replacement will be required.  
- Possible ex. water line easement on property  
- All utilities must be centered in easement.

**Roadway Paving Items:**  
- All Parking to be 20'x9' minimum.  
- No dead-end parking allowed without an City approved turnaround.  
- Drive isles to be 24' wide.  
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum. - Fire lane to be in a platted easement.  
- Install 5' sidewalk along Airport  
- Driveway spacing is 100'. Need to check verify Meals on Wheels driveway location.  
- 5' sidewalk along Airport to be located 2' inside the right-of-way.

**Landscaping:**  
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.  
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

**WATER SUPPLY (FOR FIREFIGHTING)**

BUILDING	REQUIRED GPM:	DURATION:	NUMBER OF HYDRANTS REQUIRED / PROVIDED	75% REDUCTION
<b>BUILDING 01</b>	2,250	2H	2REQ / 2PROV	NO
<b>BUILDING 02 &amp; 03</b>	2,500	2H	3REQ / 3PROV	NO
<b>BUILDING 04, 05, 06 &amp; 07</b>	2,500	2H	3REQ / 3PROV	NO

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

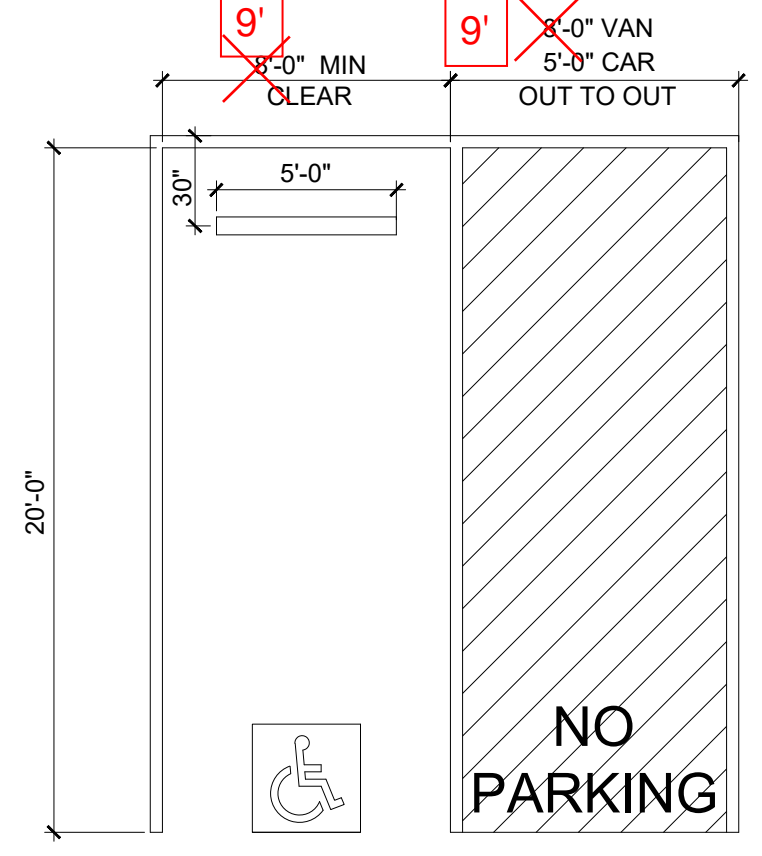
**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

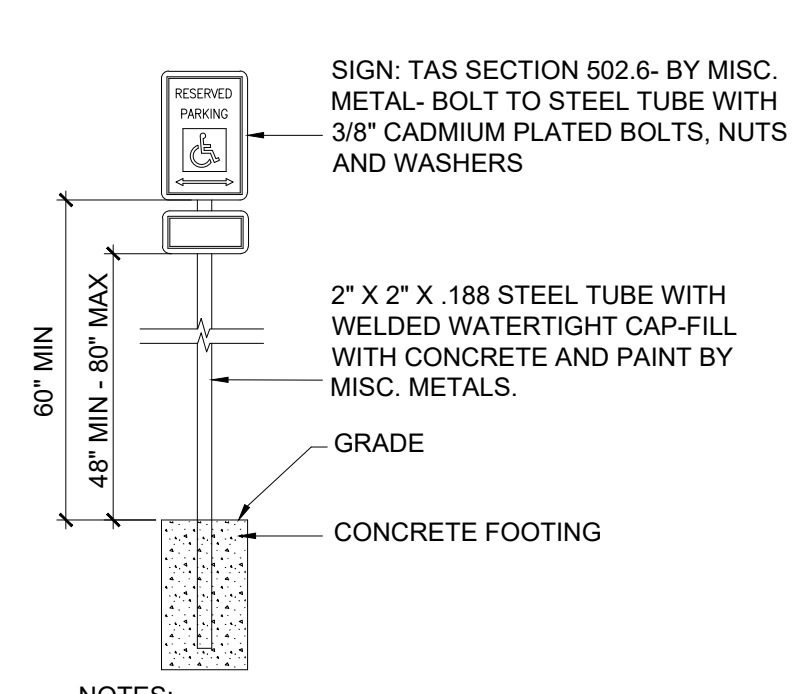
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

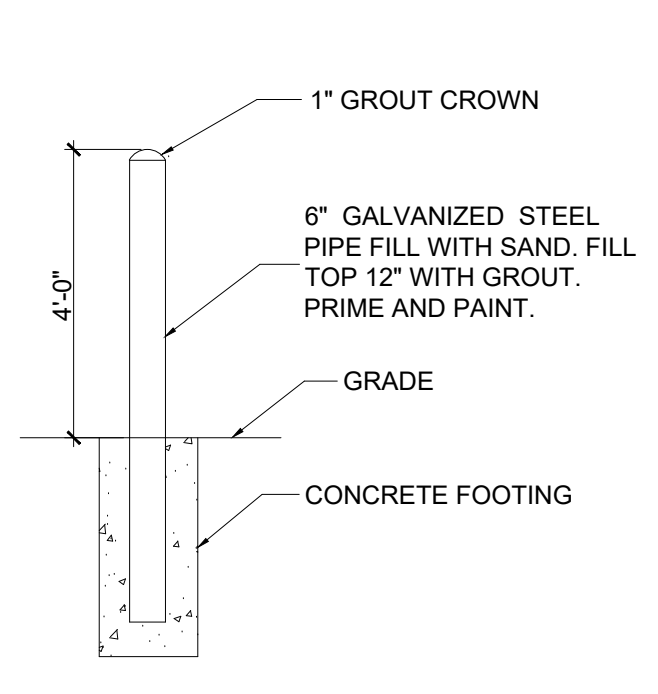
\_\_\_\_\_  
Director of Planning and Zoning



02 HANDICAP SPACE & AISLE  
Scale 3/8" = 1'-0"



03 HANDICAP SIGN POST  
Scale 3/8" = 1'-0"



04 BOLLARD  
Scale 3/8" = 1'-0"

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS. CONTACT DESIGNER TO VERIFY ANY UNKNOWN DIMENSIONS.
- CONTRACTOR TO VERIFY WITH DIMENSIONS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM DESIGNER OF ANY DISCREPANCIES.
- ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THIS DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING.
- ALL SIDEWALKS AND PATIO AREAS SURROUNDING THE BUILDING TO MAINTAIN A MAXIMUM 2% SLOPE.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR BIDDING.
- CONTRACTOR SHALL PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- PROVIDE CONCRETE WALKS WITH CONTROL AND EXPANSION JOINT.
- RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES (IF REQUIRED) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED AND COORDINATED WITH APPROPRIATE AGENCIES.
- GRADE ALL LANDSCAPE ISLANDS TO AVOID WATER PONDING INSIDE CURBS-TYPICAL.
- ALL PAVING TO BE CONCRETE UNLESS NOTED OTHERWISE.
- SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- REFER TO CIVIL DRAWING FOR SITE WORK.
- GENERAL CONTRACTOR TO PROTECT ALL TREES AND SHRUBS (IF ANY) IN AREA OF NEW CONSTRUCTION.
- CONTRACTOR TO STAKE OUT ALL CORNERS OF BUILDINGS, ALL MAJOR SITE AND BUILDING COMPONENTS, ALL COLUMN LOCATIONS AND WATER EASEMENT PRIOR TO COMMENCEMENT OF ANY OTHER WORK.
- ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE". ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.
- FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

**RS&G ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-763-7777

project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
0 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 07/11/23

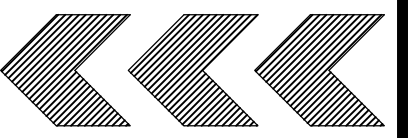
05/19/2023

SITE PLAN

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
23420.02 A0.1





REVISIONS

ISSUE DATE: 07/11/23



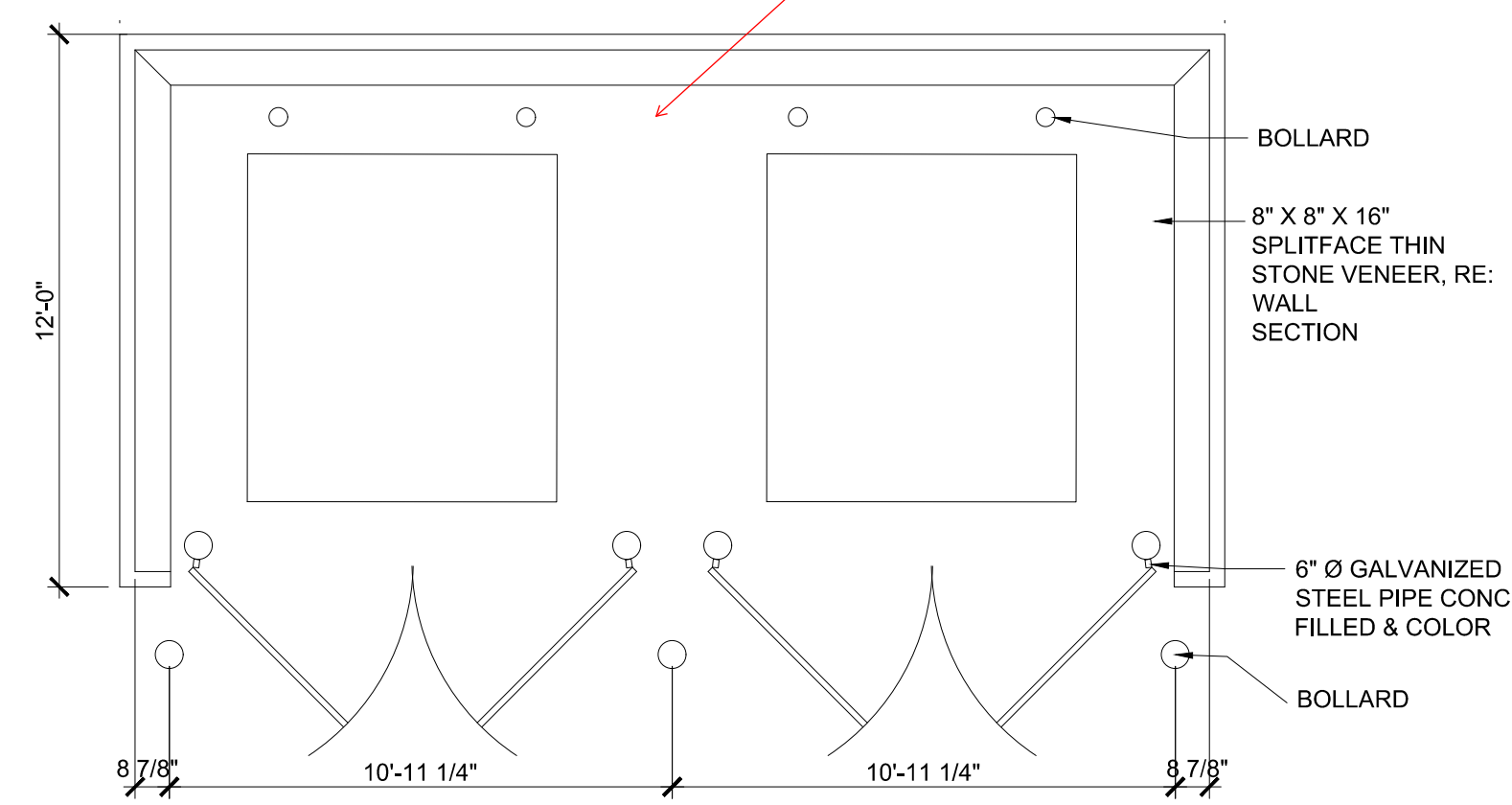
05/19/2023 *jm*

DUMPSTER DETAIL

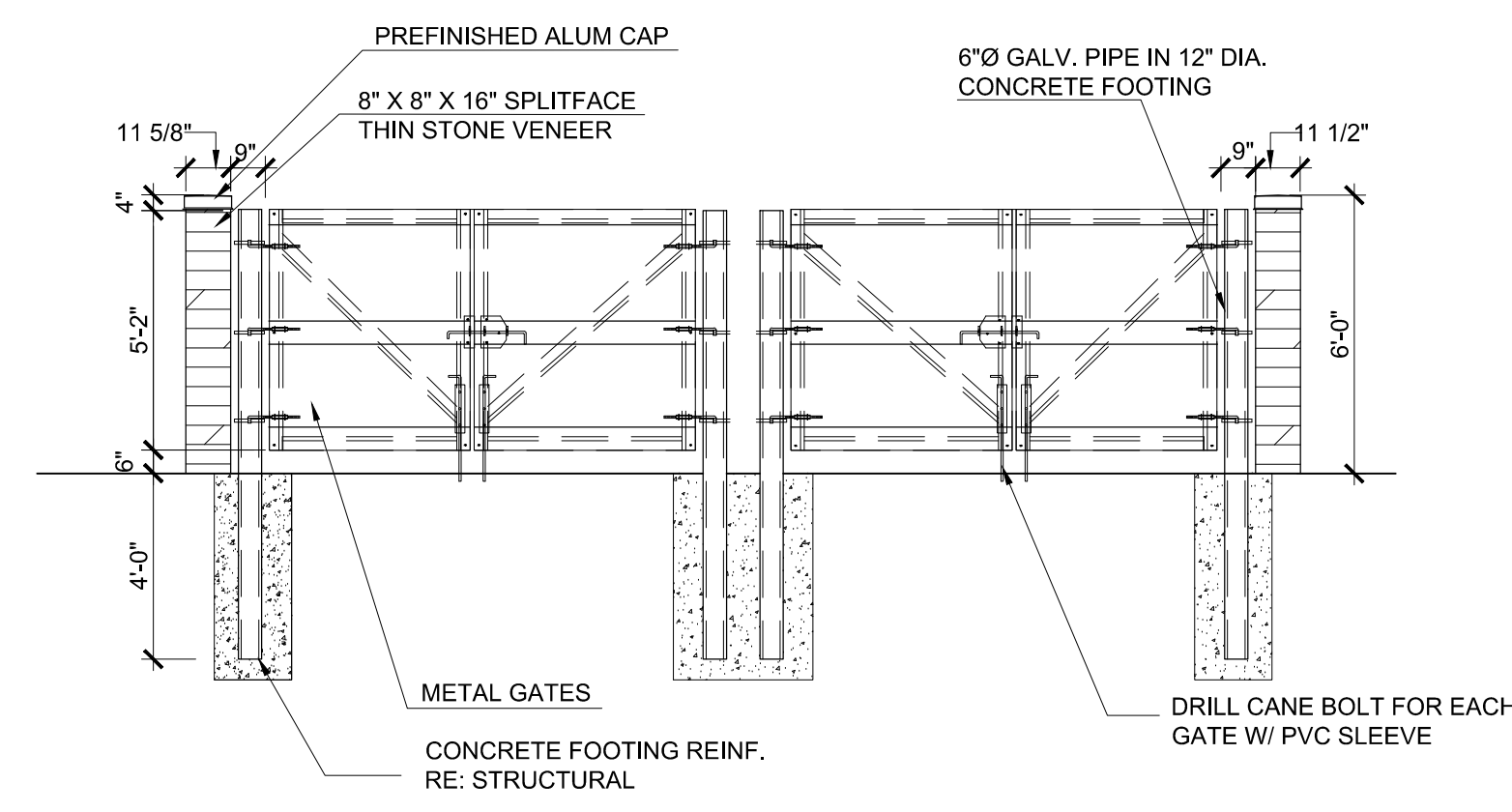
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PROJECT No: SHEET No:  
23420.02 A0.2

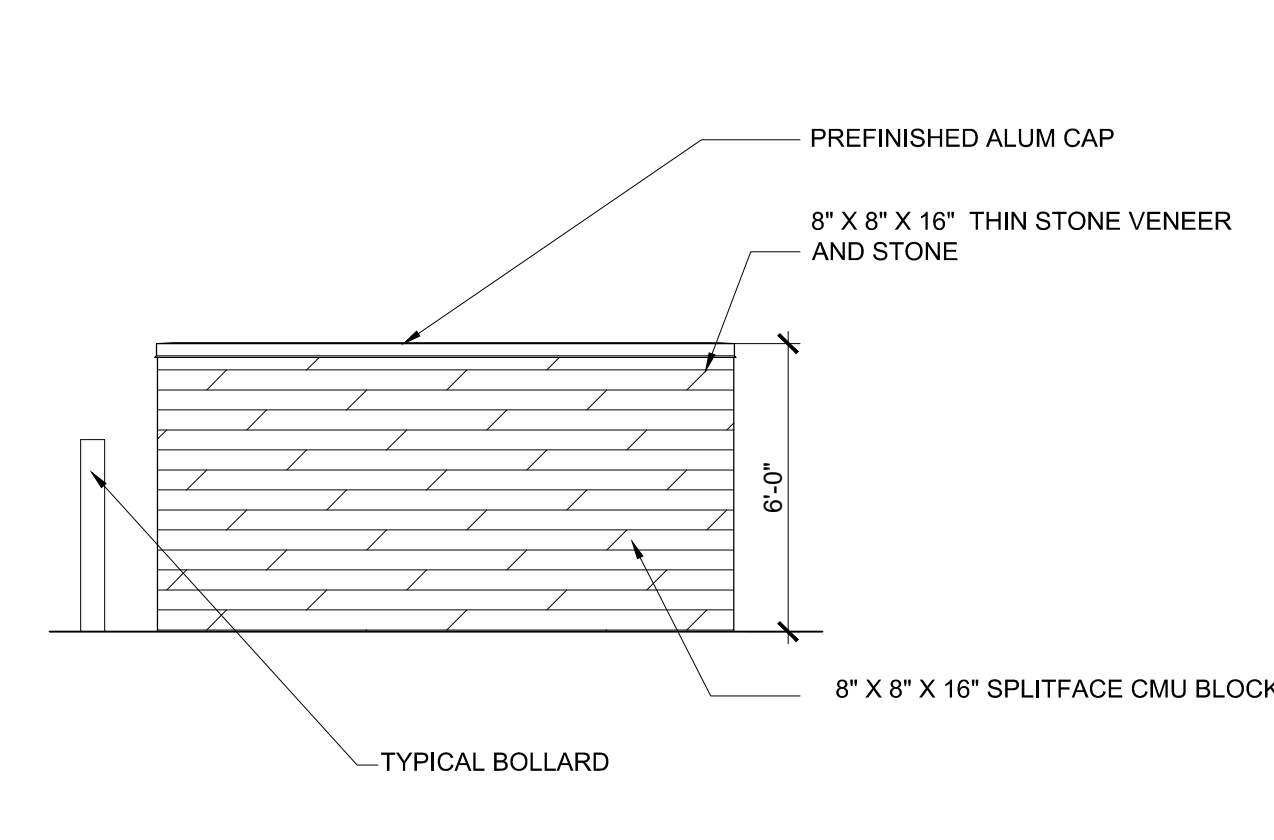
Oil water separator for all dumpsters



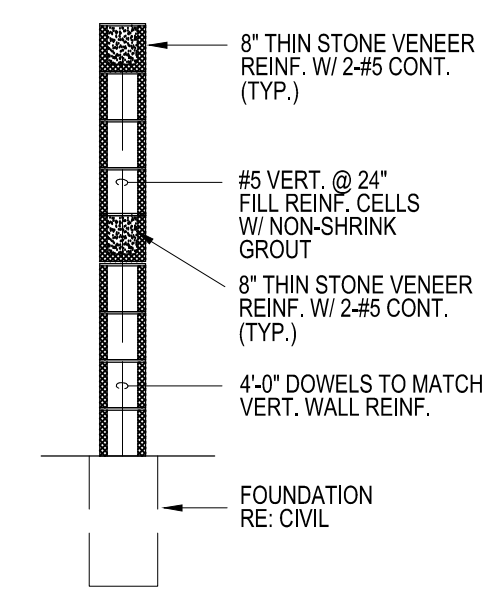
01 DUMPSTER PLAN  
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION  
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION  
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION  
Scale 3/8" = 1'-0"

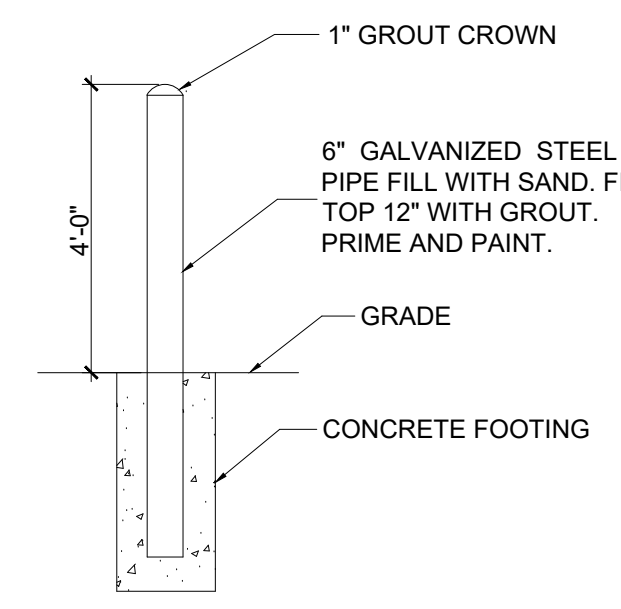
**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



05 TRASH ENCLOSURE BOLLARD  
Scale 3/8" = 1'-0"

**GENERAL NOTES**

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1760 Airport rd, Rockwall, TX 75087

SUBDIVISION A102, D Harr, Tract 2-01

LOT

BLOCK

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Vacant

PROPOSED ZONING

PROPOSED USE Light industrial

ACREAGE 6.18

LOTS [CURRENT]

1

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER FlexSpace Business Parks LLC

APPLICANT RSG ENGINEERING

CONTACT PERSON Roy Bhavi

CONTACT PERSON HIND SAAD

ADDRESS 835 Tillman Dr,

ADDRESS 13501 KATY FREEWAY, STE. 3180

CITY, STATE & ZIP Allen TX 75013

CITY, STATE & ZIP Houston, TX 77041

PHONE 972.674.8933

PHONE 281- 248- 6785

E-MAIL roy.bhavi@flexspacebusinessparks.co

E-MAIL hind@rsgcompanies.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Deepak Bhavi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

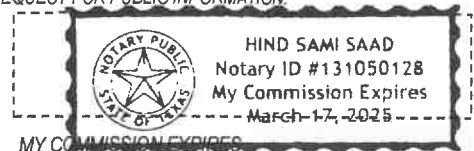
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 5370 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 30<sup>th</sup> DAY OF June, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 30<sup>th</sup> DAY OF June, 2023

OWNER'S SIGNATURE


*[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Case Location Map = 



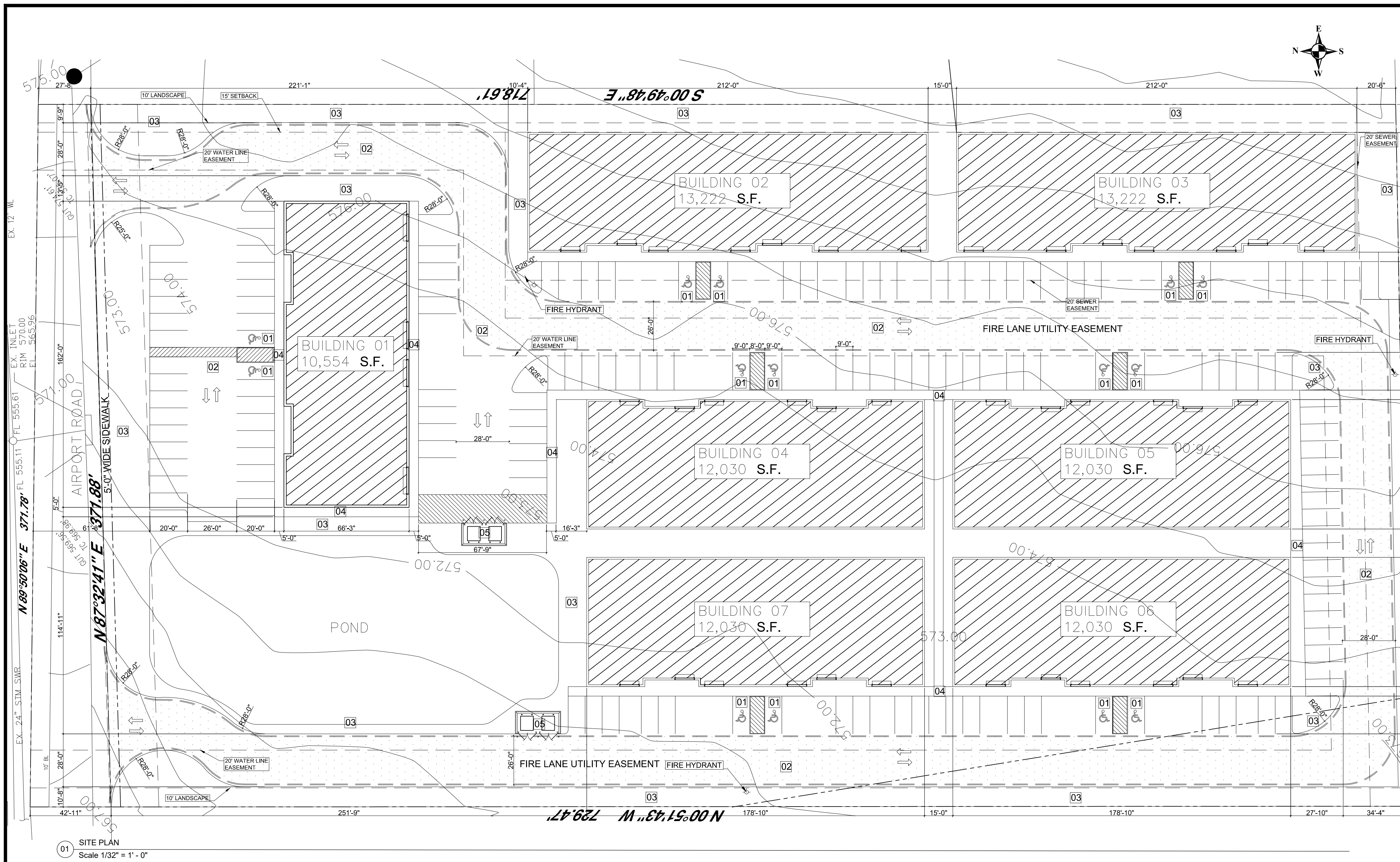
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







**ADA & TAS**

FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.  
FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

**FIRE LANE NOTES**

- CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE - TOW AWAY ZONE" IN WHITE LETTERS AT LEAST THREE (3) INCHES IN HEIGHT, AT INTERVALS NOT EXCEEDING FIFTY (50) FEET.
- ANY COLOR OTHER THAN RED MAY BE USED IN "NO PARKING" AREAS THAT ARE NOT APPROVED FIRE LANES. RED COLORED CURBS, PAVEMENT STRIPING OR WHEEL STOPS SHALL BE USED ONLY TO DESIGNATED APPROVED FIRE LANES EXCEPT WHERE AUTHORIZED BY THE CODE OFFICIAL.
- WHERE FIRE LANE SIGNS ARE REQUIRED, AN APPROVED TOW-AWAY ZONE SIGN SHALL BE ATTACHED TO THE SAME POLE OR COLUMN, IMMEDIATELY BELOW AND AT THE SAME ANGLE OF ATTACHMENT AS THE FIRE LANE SIGN.
- HEIGHT OF THE SIGNS SHALL BE NOT LESS THAN 6 FEET OR MORE THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE LOWER SIGN.
- FIRE LANE SIGNS SHALL BE PLACED NO LOWER THAN 6 FEET AND 0 HIGHER THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE ACCESS ROAD SIGN.
- ALL REQUIRED FIRE LANES SHALL BE PROVIDED AND MAINTAINED WITH FIRE LANE STRIPING THAT CONSISTS OF A MINIMUM SIX INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR INCH (4") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.
- FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.
- FIRE LANE - TOW-AWAY ZONE SIGNS SHALL NOT BE LOCATED MORE THAN 100 FEET APART.
- ON CURBLESS DRIVEWAYS, THE DESIGN SHALL BE A TWELVE INCH (12") WIDE RED BACKGROUND STRIPE WITH SIX INCH (6") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

**FIRE LANE**

**FIRE LANE**

PAINT DESIGNATED CURBS WITH TRAFFIC PAINT "FIRE ENGINE RED" FACE & TOP OF CURB OR A STRIPE SHALL BE PAINT ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS AND STRIPES SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED W/ THE WARNING "FIRE LANE TOW AWAY ZONE" IN WHITE COLOR. USE STENCIL W/ 4" HIGH X 3/4" THICK LETTERS @ 20'-0" O.C.

**NOTE PARKING**

- NOTE 1:**  
ACCESSIBLE PARKING SPACES AND ACCESS AISLES MUST BE LEVEL-NOT EXCEEDING 1:48 CROSS SLOPES IN ANY DIRECTION. THE WALKWAY TO THE ACCESSIBLE ENTRANCES DOES NOT HAVE CROSS SLOPES.  
402.2 COMPONENTS: ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20. DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 4.  
403.3 SLOPE: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.  
502.4 FLOOR OR GROUND SURFACES: PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH 302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY LIFTS. CHANGES IN LEVEL ARE NOT PERMITTED.
- NOTE 2:**  
THE AREA REQUIRED FOR MANEUVERING CLEARANCE AT ACCESSIBLE EXTERIOR ENTRY DOORS MUST BE LEVEL (DOES NOT EXCEED 1:48 SLOPE IN ANY DIRECTION).  
404.2.4 MANEUVERING CLEARANCES: MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH 404.2.4. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE.  
404.2.4.4 FLOOR OR GROUND SURFACE: FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED.  
EXCEPTIONS: 1. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 2. CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH 404.2.5 SHALL BE PERMITTED.

**PARKING REQUIREMENT**

WAREHOUSE TOTAL AREA: 85,118 SF  
OFFICES: 9,852 / 300 : 33 SPACES  
WAREHOUSE: 75,266 / 1,000: 76 SPACES

TOTAL REQUIRED	109
TOTAL PROVIDED	114
INCLUDED 14 HANDICAP VAN	

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS. CONTACT DESIGNER TO VERIFY ANY UNKNOWN DIMENSIONS.
- CONTRACTOR TO VERIFY WITH DIMENSIONS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM DESIGNER OF ANY DISCREPANCIES.
- ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THIS DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING.
- ALL SIDEWALKS AND PATIO AREAS SURROUNDING THE BUILDING TO MAINTAIN A MAXIMUM 2% SLOPE.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR BIDDING.
- CONTRACTOR SHALL PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- PROVIDE CONCRETE WALKS WITH CONTROL AND EXPANSION JOINT.
- RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES (IF REQUIRED) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED AND COORDINATED WITH APPROPRIATE AGENCIES.
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- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

01 SITE PLAN  
Scale 1/32" = 1' - 0"

**WATER SUPPLY (FOR FIREFIGHTING)**

BUILDING 01	
REQUIRED GPM:	2,250
DURATION:	2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED	2REQ / 2PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

BUILDING 02 & 03	
REQUIRED GPM:	2,500
DURATION:	2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

BUILDING 04, 05, 06 & 07	
REQUIRED GPM:	2,500
DURATION:	2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

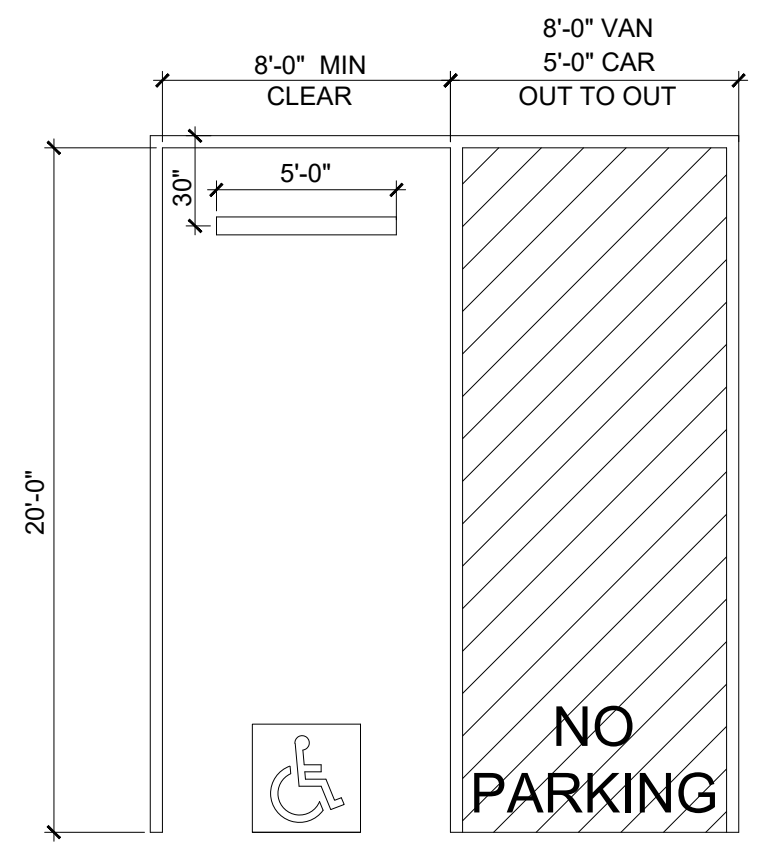
SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

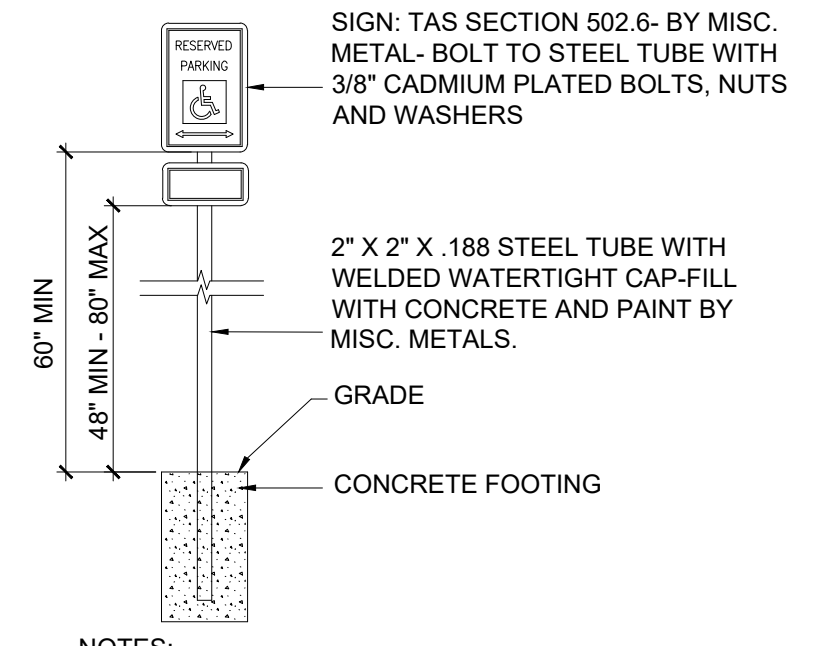
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

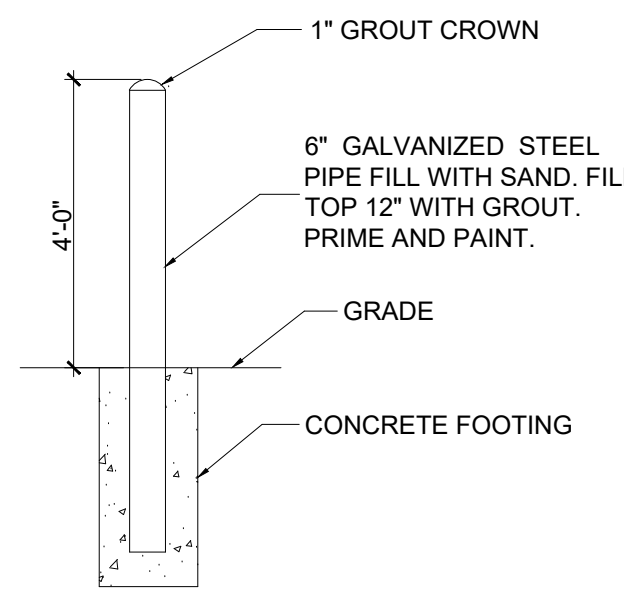


02 HANDICAP SPACE & AISLE  
Scale 3/8" = 1'-0"



NOTES:  
1. HANDICAP PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL REGULATIONS.  
2. SIGNS SHALL BE POST MTD. WITH POST LOCATED BETWEEN BUILDING AND SIDEWALK, CENTERED ON PARKING SPACE.  
3. SIGNS SHALL BE POST MTD. WITH POSTS LOCATED BETWEEN BUILDING AND CURB, CENTERED ON PARKING SPACE.

03 HANDICAP SIGN POST  
Scale 3/8" = 1'-0"



04 BOLLARD  
Scale 3/8" = 1'-0"

**SITE PLAN SIGNATURE BLOCK**

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WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

REVISIONS


ISSUE DATE: 07/11/23

05/19/2023

SITE PLAN

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

PROJECT No: 23420.02 SHEET No: A0.1



**GENERAL NOTES**

- ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
- ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
- VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
- CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- CONTROL JOINT. NOT TO EXCEED 144 S.F.

**SITE PLAN SIGNATURE BLOCK**

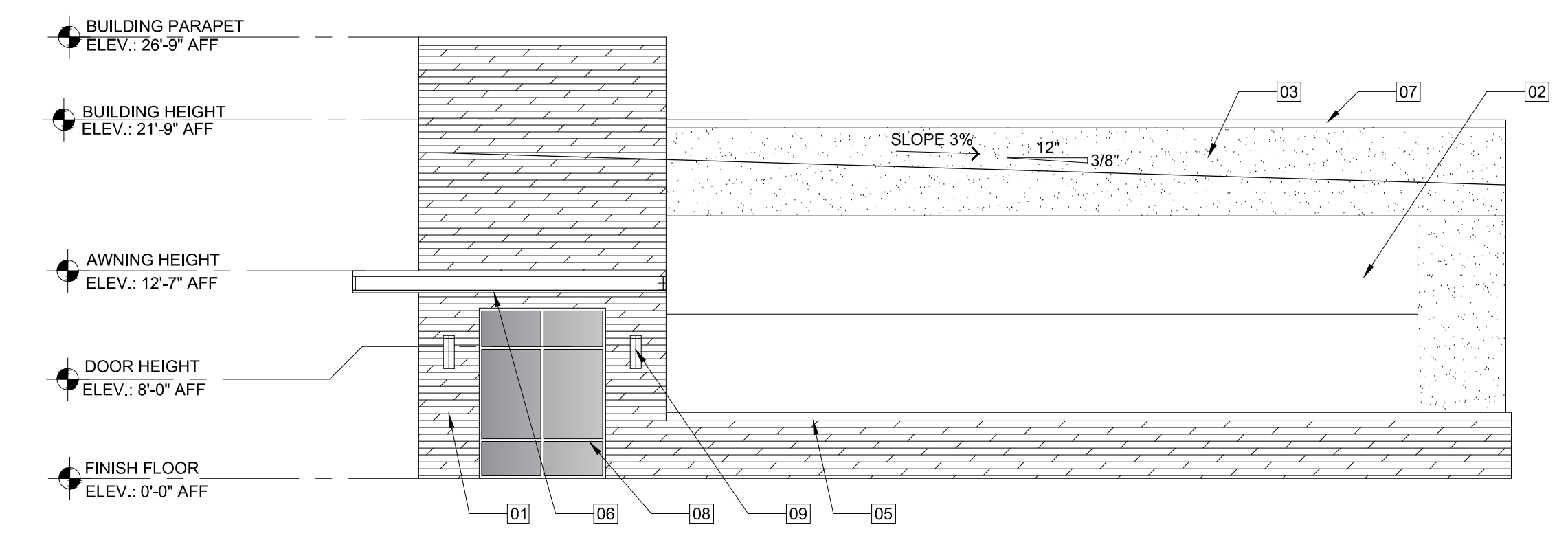
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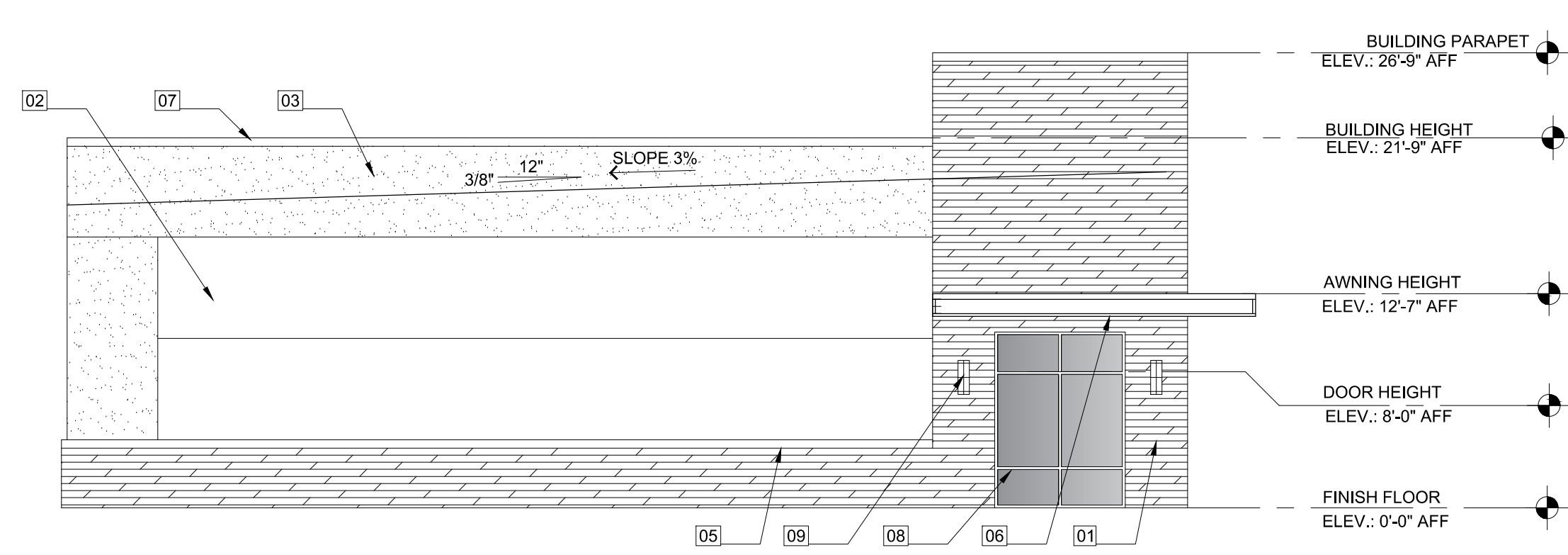
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

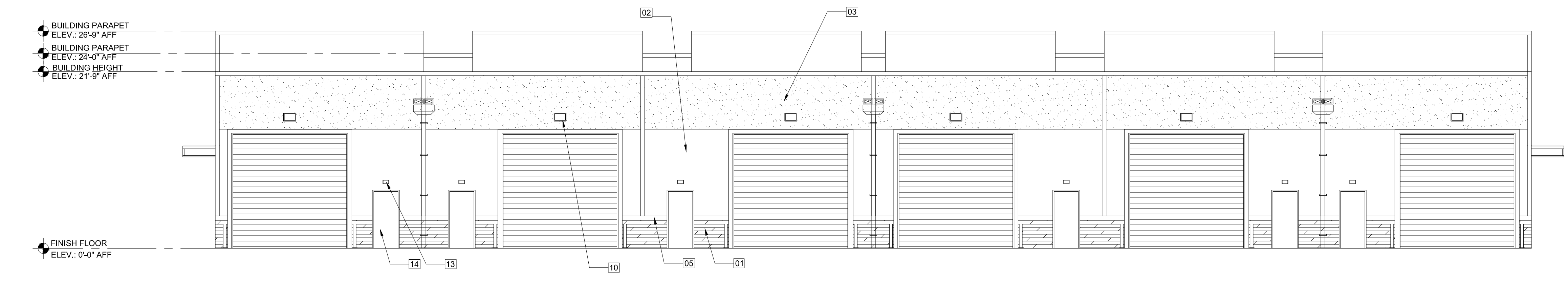
01 FRONT ELEVATION  
Scale 1/8" = 1' - 0"



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"



03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"



04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

**EXTERIOR ELEVATION KEY NOTES**

- THIN STONE VENEER. COLOR: BUFF LUEDERS
- STUCCO COLOR: MATCH OLD TOWN GRAY
- STUCCO COLOR: MATCH OLD ZINC GRAY
- STUCCO COLOR: MATCH MOCHA
- CAP STONE
- PRE-FINISHED METAL CANOPY
- METAL COPING
- WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- WALL SCOSCE
- WALL PACK LIGHT
- DOWNSPOUT
- WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- EXTERIOR WALL-MOUNTED LIGHT
- PAINTED METAL DOOR
- SCUPPER
- OVERHEAD DOOR
- BOLLARDS

NO.	REVISIONS

ISSUE DATE: 07/11/23

BUILDING 01

05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
23420.02 A2.0



**EXTERIOR ELEVATION KEY NOTES**

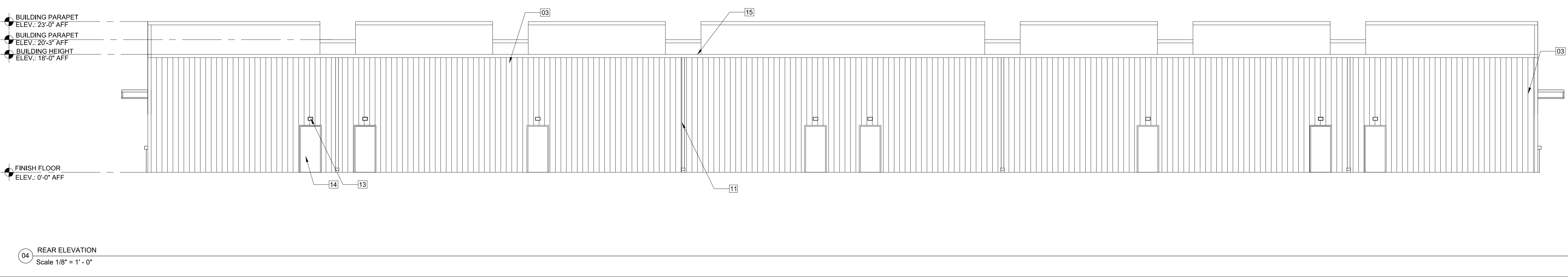
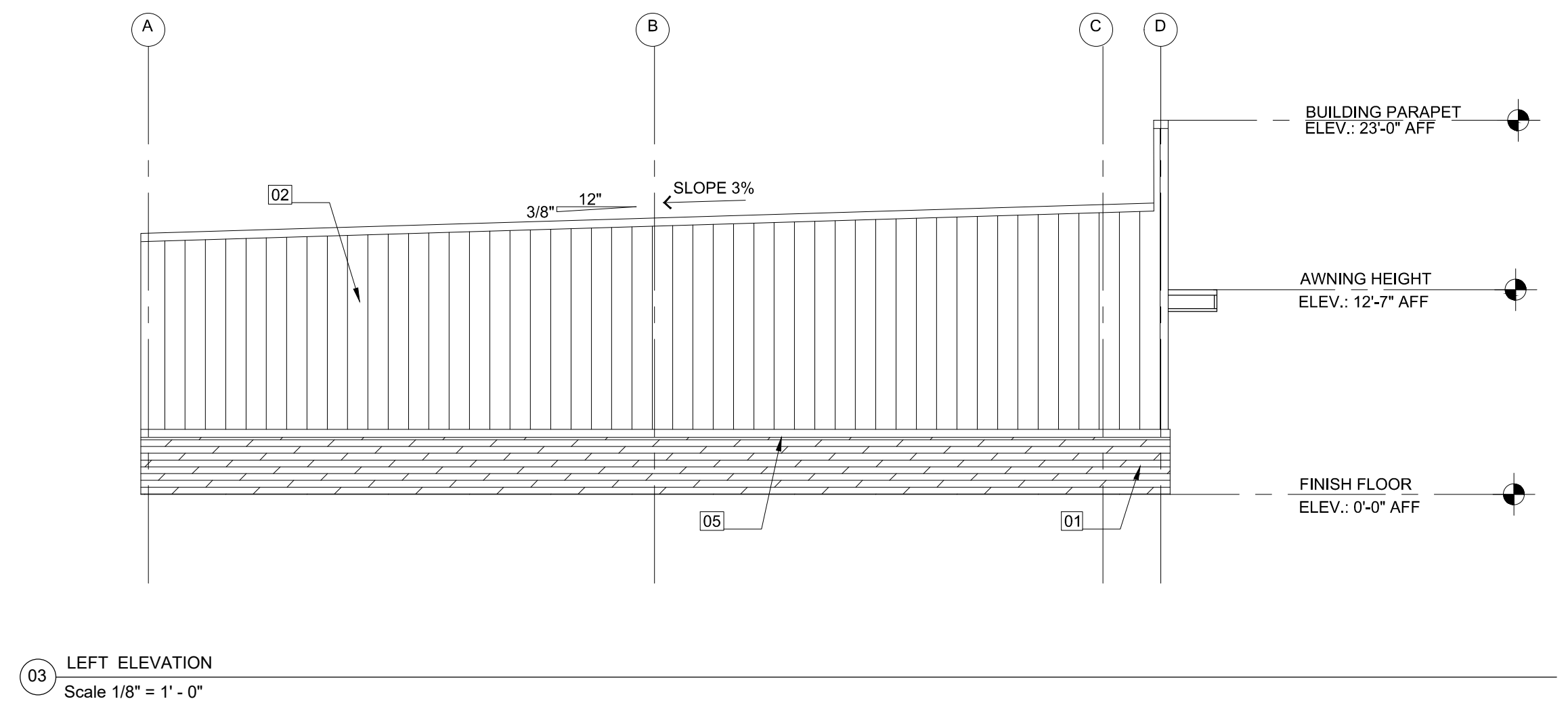
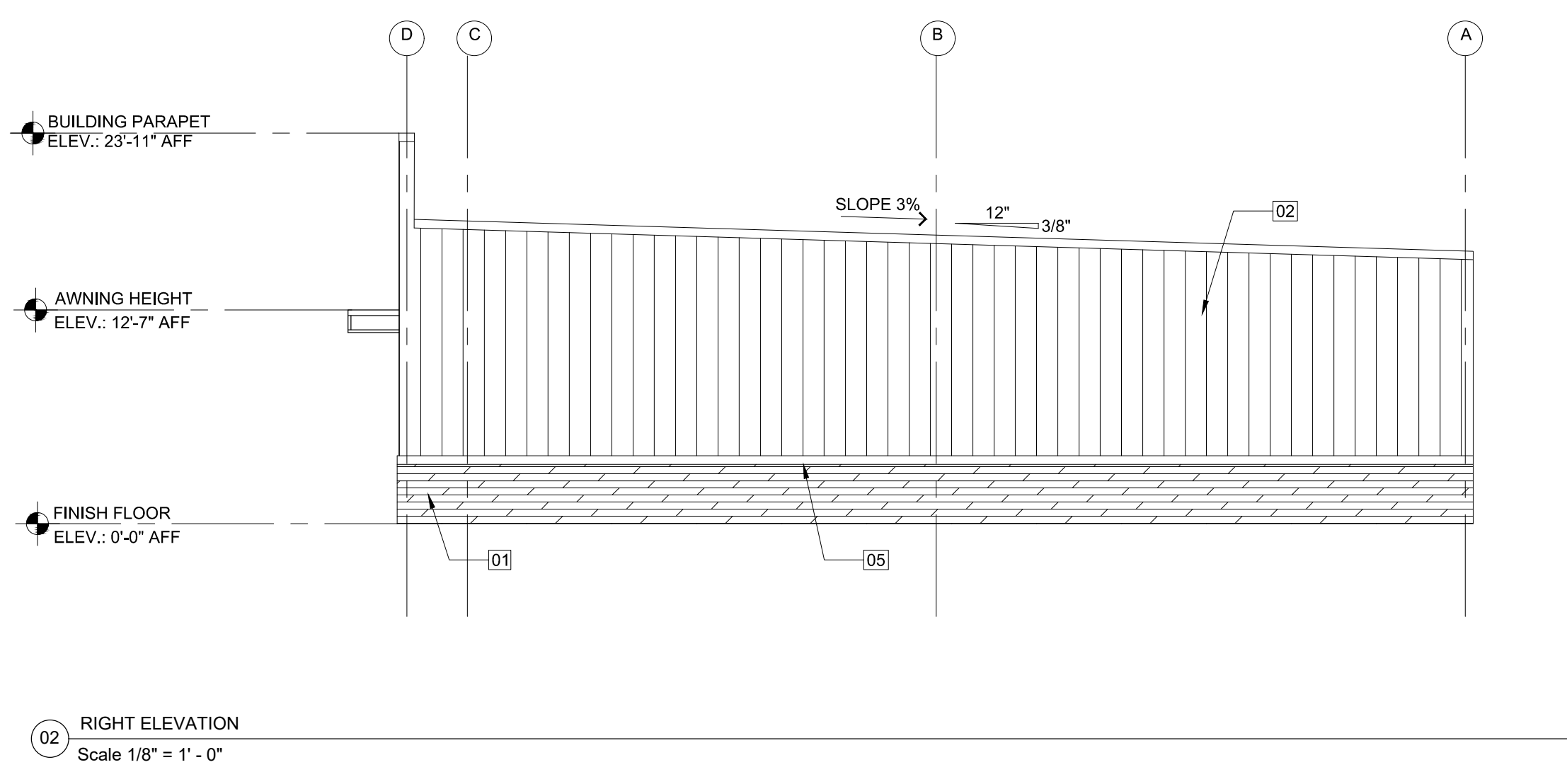
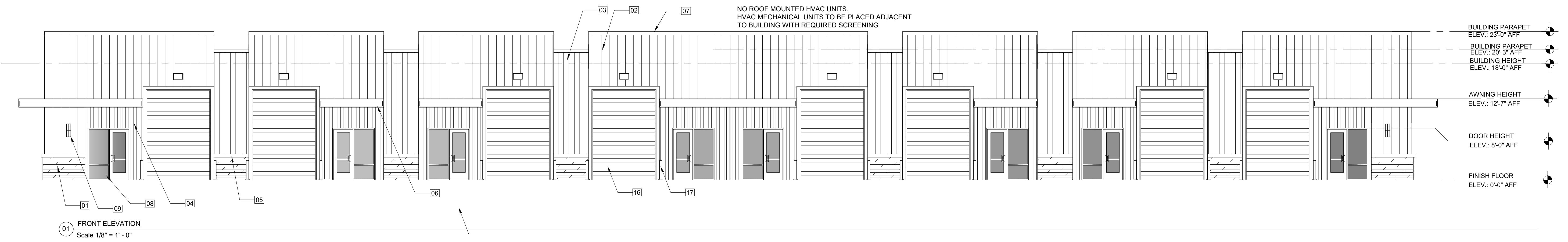
- 1 THIN STONE VENEER, COLOR: BUFF LUEDERS
- 2 1/2" CORRUGATED METAL SIDING 15", COLOR: OLD TOWN GRAY
- 3 1/2" CORRUGATED METAL SIDING 10", COLOR: OLD ZINC GRAY
- 4 1/2" CORRUGATED METAL SIDING 5", COLOR: MOCHA
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- 7 METAL COPING
- 8 WINDOW DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT
- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR
- 15 GUTTER
- 16 OVERHEAD DOOR
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].  
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman  
\_\_\_\_\_  
Director of Planning and Zoning

**GENERAL NOTES**

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT. NOT TO EXCEED 144 S.F.



**RSG ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
0 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 07/11/23

BUILDINGS 02 & 03

05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

PROJECT No: 23420.02 SHEET No: A2.0

TBP# FIRM #: 15498

**EXTERIOR ELEVATION KEY NOTES**

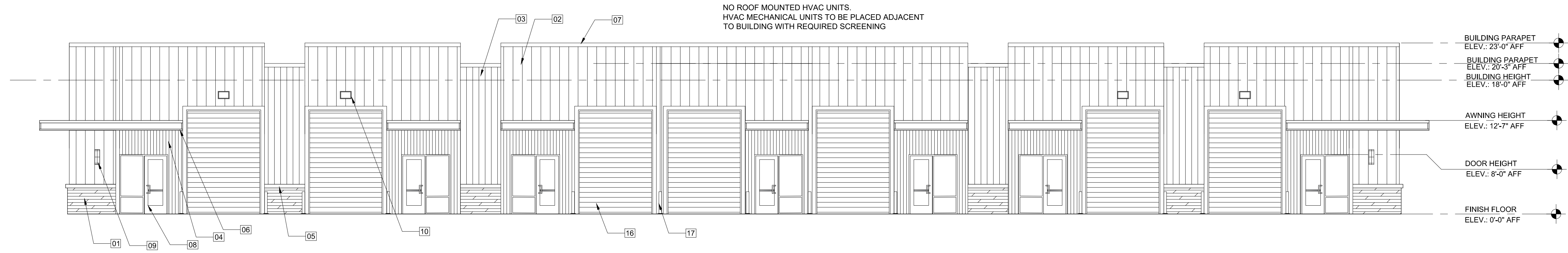
- 1 THIN STONE VENEER, COLOR: BUFF LUEDERS
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- 16 OVERHEAD DOOR
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS

**SITE PLAN SIGNATURE BLOCK**

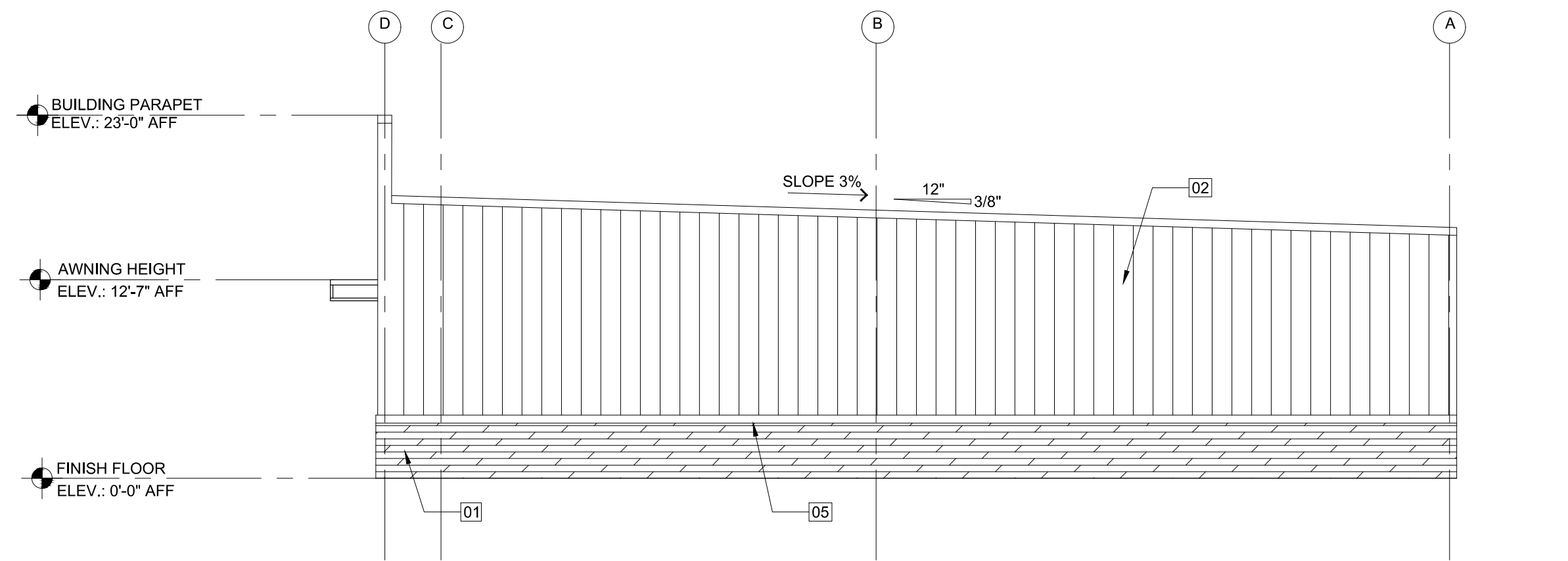
APPROVED:  
 I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].  
 WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman  
 \_\_\_\_\_  
 Director of Planning and Zoning

**GENERAL NOTES**

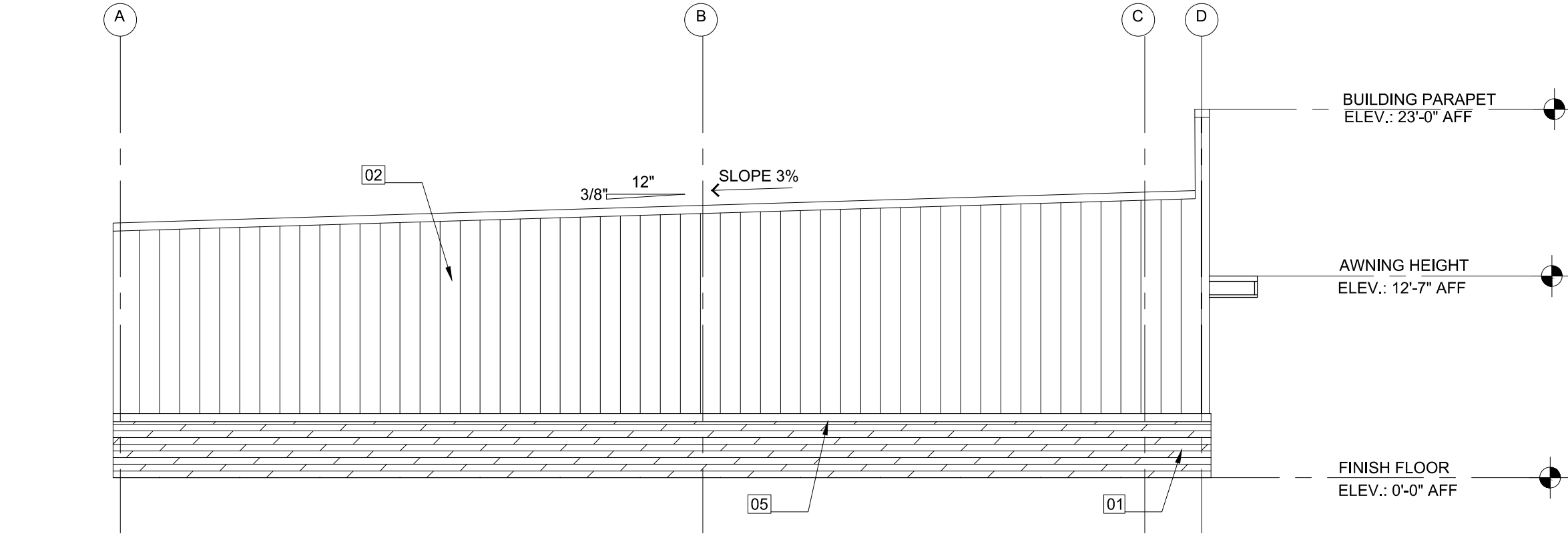
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6. CONTROL JOINT. NOT TO EXCEED 144 S.F.



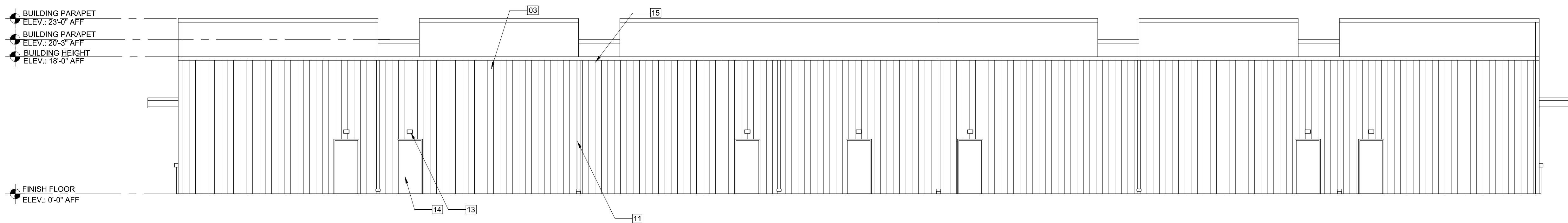
01 FRONT ELEVATION  
Scale 1/8" = 1' - 0"



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"



03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"



04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

**RSG ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

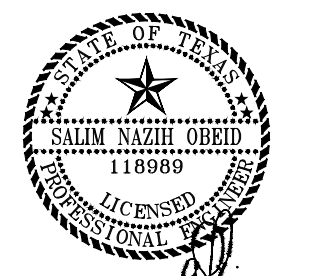


project  
**ROCKWALL OFFICES WAREHOUSES**  
 at  
 0 AIRPORT ROAD  
 ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 07/11/23

BUILDINGS  
04, 05, 06 & 07



05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
 23420.02 A2.0





22GA / 24GA PVDF COLORS



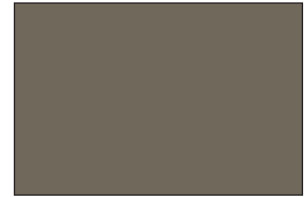
**REGAL WHITE**  
TSR 69.6 E .83 SRI 84



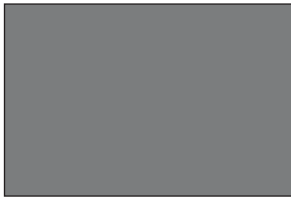
**PARCHMENT**  
TSR 50.7 E .85 SRI 58



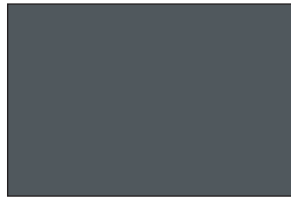
**SIERRA TAN**  
TSR 52 E .85 SRI 59



**MOCHA**  
TSR 34.4 E .83 SRI 35



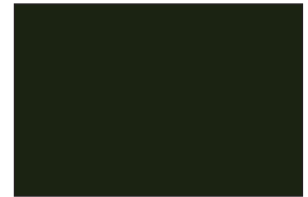
**OLD ZINC GRAY**  
TSR 37.1 E .87 SRI 40



**SLATE GRAY**  
TSR 29.7 E .86 SRI 30



**BRONZE**  
TSR 29.7 E .86 SRI 30



**DARK BRONZE**  
TSR 28.7 E .85 SRI 28



**OLD TOWN GRAY**  
TSR 39.2 E .84 SRI 42



**WEATHERED COPPER**  
TSR 32.8 E .9 SRI 36



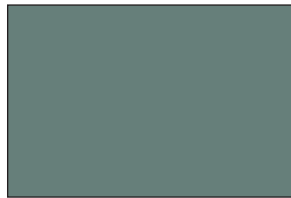
**COLONIAL RED**  
TSR 32.7 E .87 SRI 34



**RETRO RED**  
TSR 38.6 E .85 SRI 41



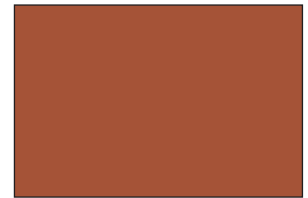
**HARTFORD GREEN**  
TSR 27.5 E .86 SRI 27



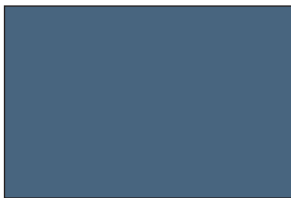
**HEMLOCK GREEN**  
TSR 34 E .86 SRI 36



**FOREST GREEN**  
TSR 30 E .86 SRI 30



**TERRA COTTA**  
TSR 39.5 E .84 SRI 42



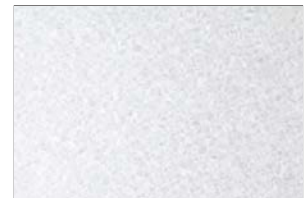
**TWILIGHT BLUE**  
TSR 31.1 E .86 SRI 32



**REGAL BLUE**  
TSR 26.2 E .85 SRI 25

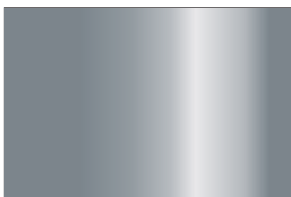


**MATTE BLACK**  
TSR .277 E .86 SRI 27

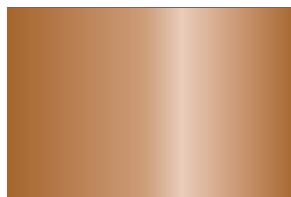


**GALVALUME**  
\*24 Gauge Only

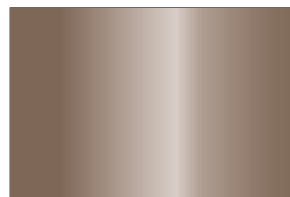
22GA / 24GA METALLIC PVDF COLORS



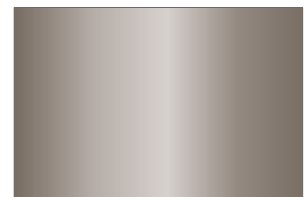
**SILVER METALLIC ‡**  
TSR 50 E .8 SRI 58



**COPPER PENNY ‡**  
TSR 46.2 E .85 SRI 52



**CHAMPAGNE METALLIC ‡**  
TSR 46.6 E .83 SRI 51

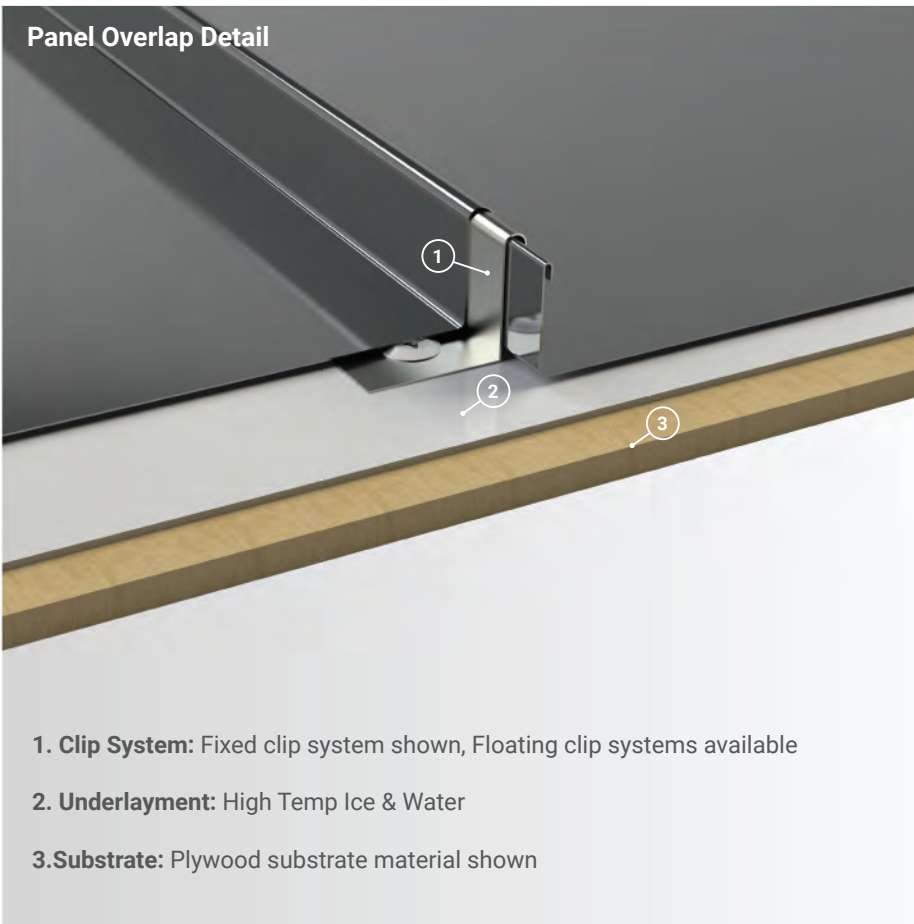
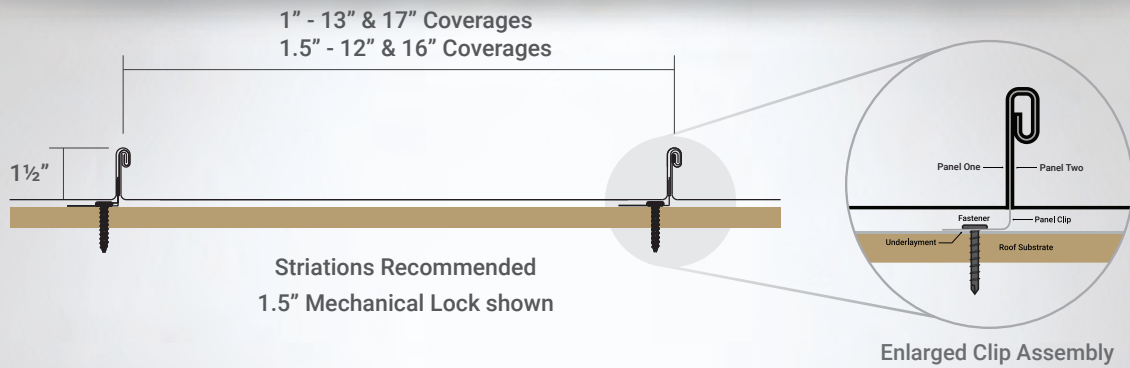


**MICA WEATHERED ZINC ‡**  
TSR 38.6 E .83 SRI 40

‡ Metallic color, premium pricing applies.







<b>Roof Coverage</b>	1" - 13" & 17" 1.5" - 12" & 16"
<b>Radius Panel</b>	Available
<b>Panel Gauges</b>	22*, 24*
<b>Fastener Options</b>	Concealed Clip System
<b>Panel Length</b>	3' - 43" Shop Production 100'+ Run Onsite
<b>Rib Height</b>	1" or 1.5"
<b>Roof Slope</b>	Minimum 1:12 or Greater with Mastic
<b>Impact Rating</b>	UL 2218
<b>Wind Uplift Rating</b>	ASTM E1592 1.5" Mechanical Lock
<b>Warranty</b>	Based on Paint System
<b>For more information</b>	1.833.STEEL.US

\* Grade 50 Version 5.1, 4/2021



Vented/Non-Vented Ridge Cap



Hip Ridge



W Valley



Transition -High to Low



Transition - Low to High



Open Prow Gable



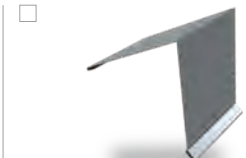
Mini Gable



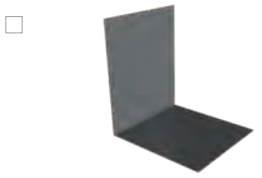
Eave



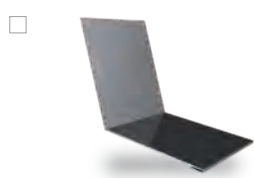
Style D Trim



Mini Top Cap



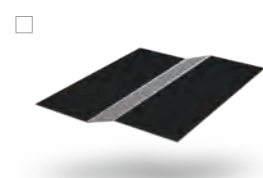
Sidewall



Endwall



Fascia



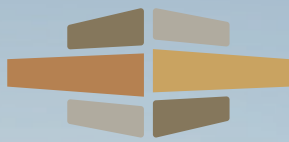
Offset Cleat



Z Metal







# SALADO

Honest and Enduring







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Architectural Cut 6-7

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Hardscape 16-17



## THE SALADO DIFFERENCE: PEOPLE. PRODUCTS. SERVICE.

**Honest and Enduring:** That's how our customers describe their relationships with our staff, our service and the stone materials we produce.

Our natural limestone and sandstone products are of the highest quality, meticulously crafted to our clients' most exacting standards and always competitively priced.

Our people are focused on building relationships with our clients. Characterized by their will-help attitude, our professional team is knowledgeable, dependable and committed to providing each client with exceptional service.

*“Salado does it right or they make it right.”*

At Salado, we bring quarries together to provide depth and variety in choice to architects, designers, materials specifiers, building, hardscape and landscape professionals, stone fabricators, and homeowners. We will work hard to have Salado become your preferred source for stone.

To start the conversation, give us a call at 254.793.3355 or email [info@SaladoUSA.com](mailto:info@SaladoUSA.com).



STATION



## THIN STONE VENEER

When you want the durability and beauty of natural stone, but not the weight, think natural stone thin veneer—and say goodbye to manmade products that can wear poorly over time.

One of Salado's most requested products, our natural thin stone veneer can be used anywhere in the country for both interiors or exteriors. When installed, it resembles much larger, heavier pieces of stone.

Our natural thin stone veneer is good for the environment—and it can be great for your bottom line, thanks to faster installation, reduced shipping costs and superior durability.

### SPECS

Size: 1.25-1.5" thick

Coverage: 10-15 lbs./sq. ft. typical weight per square foot.



*“The entire process is orchestrated so well.”*



**3100**  
ESPERANZA Cr

®



# ARCHITECTURAL CUT

The details make all the difference in stonework, which is why the right architectural cut features—like headers, sills, caps, quoins, panels, window surrounds and paving—can elevate a design, taking it from so-so to sensational.

With architectural cut, sometimes referred to as dimensional cut stone, you specify the combination of height, length and thickness of the finished pieces. The stone is then manufactured to your exact specifications.

Want a unique look? Consider having us give the stone a finish such as brushed, honed or chatted.



Architectural Cut Linen



Almond



Cashmere



Ivory



Linen



Merlot







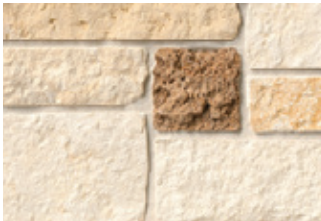
# SONOMA PATTERN

Sonoma has a modern, linear look made up of squares and rectangles. Also known as sawn chop, sawn top and bottom, or wet sawed, it conveys a feeling of solidity, integrity and permanence.

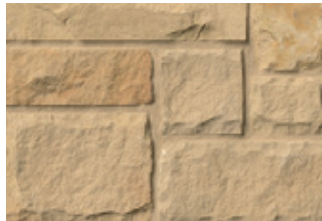
## SPECS

**Size:** Saw cut on top and bottom with chopped/split face. Heights are cut to specifications, typically 4-12" (under 4" available as ledgerstone, 12-16" options also available). Random broken/chopped lengths. Nominal 3-5" thickness.

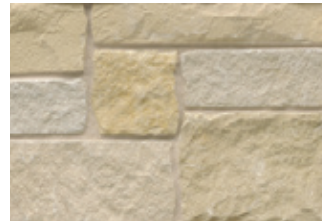
**Coverage:** 40-45 square feet per ton (approximate)



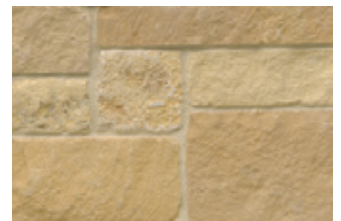
Alta



Autumn



Buff Lueders



Caramel



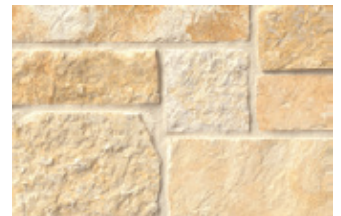
Cave



Charcoal



Cream



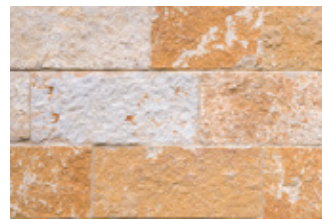
Gold



Latte



Light Antique



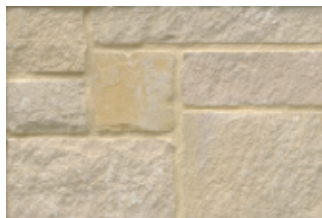
Lueders Roughback



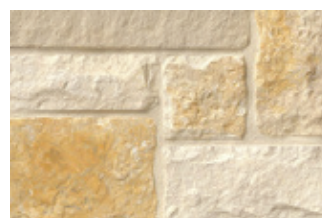
Matera



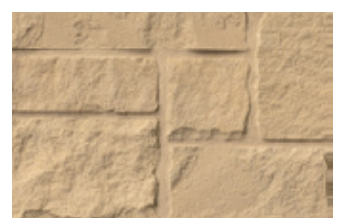
Red



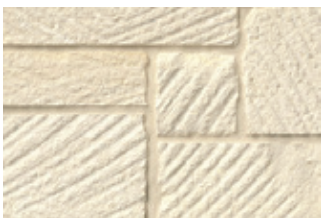
Sea Fossil



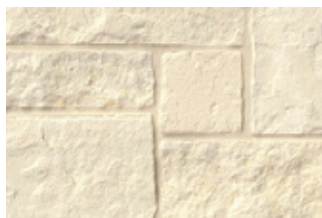
Sonoma Blend



Tan



Vermeer Saw



White







# CHATEAU PATTERN

In this time-honored pattern, the stone comes in random shapes and sizes, and is sometimes referred to as flag, flagstone, builder, irregular builder, fieldstone or mosaic. Here the skill of the mason is shown off, as the stone is fit together like a puzzle.

## SPECS

When installed as wall veneer:

**Size:** Typically the face is larger than a dinner plate, but smaller than a chair cushion; 3-5" thick.

**Coverage:** 40-45 square feet per ton (approximate)

When installed as natural patio stone:

**Size:** 2-3" thick (approximate)

**Coverage:** 75-80 square feet per ton (approximate)



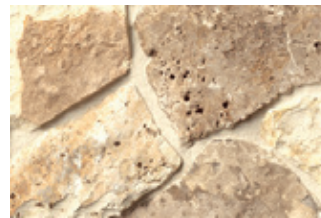
Gold



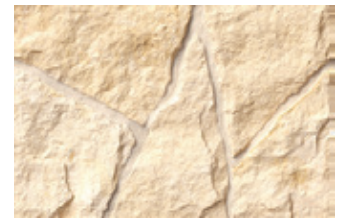
Autumn



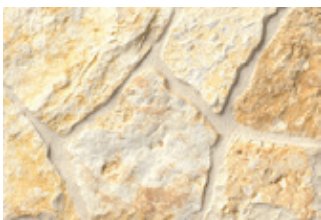
Balcones



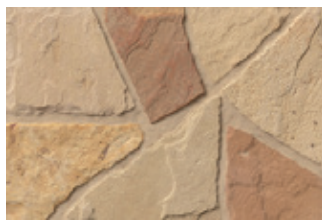
Brown



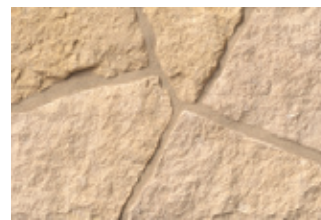
Cream



Gold



Hickory



Latte



Red



Tan



White







## TUSCANY PATTERN

This classic pattern is hand-formed rough, rustic squares and rectangles in random heights and lengths. Sometimes referred to as chop, hand chop, field chop or rough chop, Tuscany provides a sense of history and underscores the handmade nature of traditional stonework.

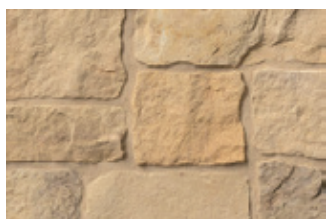
### SPECS

**Size:** Random heights 3-8" tall (under 3" as ledgetone); square to rectangular widths; 3-5" thickness

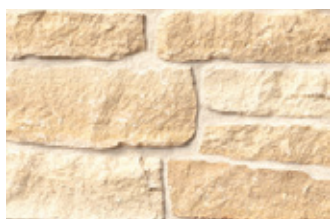
**Coverage:** 40-45 square feet per ton (approximate)



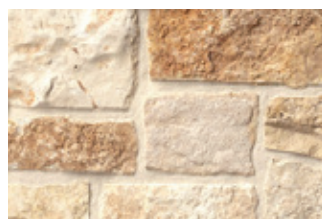
Tuscany White



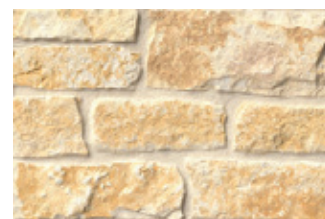
Autumn



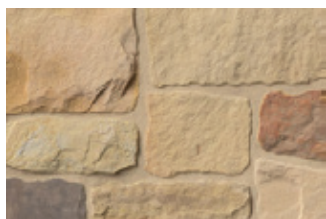
Balcones



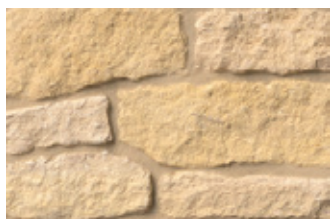
Brown



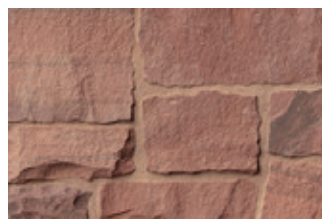
Gold



Hickory



Latte



Red



Tan



White









Sonoma Latte and Architectural Cut Cashmere

## CUSTOM BLENDS: A MIX OF PATTERNS AND COLORS

Dream. Imagine. Create. Color outside the lines.

When you want something other than the usual, Salado offers endless varieties of limestone and sandstone cuts, colors, sizes, textures and finishes produced by nature that you can mix however you want. Go ahead: Create something that is uniquely yours.



Tuscany Hickory and Architectural Cut Almond



Architectural Cut White, Cream and Cave



Sonoma White and Architectural Cut Linen









Sonoma Buff Lueders

## HARDSCAPE

The perfect complement to our building stone, Salado hardscaping stone's contrasting textures and colors add interest while still blending with the environment. Fountains, benches, retaining walls, pavers, accent boulders and sculptures are a few ways our stone can be part of a comprehensive landscape design. It is ideal for integrating outdoor living spaces, such as outdoor kitchens, pool surrounds and seating areas into the overall property design.



Architectural Cut White, Cream and Cave



Sonoma Blend



Architectural Cut Linen

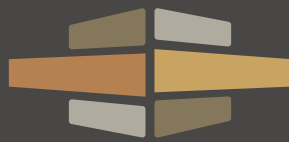


12700

CEISOS  
★  
GRILL

CEISOS GRILL





# SALADO

Honest and Enduring

Visit [www.saladousa.com](http://www.saladousa.com) to learn more  
about Salado and find inspiration in our extensive  
portfolio of completed installations.

[info@SaladoUSA.com](mailto:info@SaladoUSA.com)

254.793.3355

3500 FM 2843, Florence, TX 76527

# Building 1



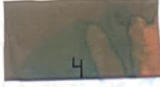
Buff Lueders



OLD TOWN GRAY  
TSR 39.2 E. 84 SRI 42



OLD ZINC GRAY  
TSR 37.1 E. 87 SRI 40



MOCHA  
TSR 34.4 E. 83 SRI 35



Applicant Information

Hind Saad  
HSG Engineering  
13501 Katy Fwy Suite 3380  
Houston, TX 77079  
(713)783-7777  
[hind@hsgcompanies.com](mailto:hind@hsgcompanies.com)

Owner Information

Roy Bhavi  
FlexSpace Business Parks LLC  
835 Tillman Dr  
Allen, TX 75013  
(972)674-8933  
[roybhavi@flexspacebusinessparks.com](mailto:roybhavi@flexspacebusinessparks.com)

Rockwall FlexSpace Center  
Case Number:

# Buildings 2 and 3



Buff Lueders



OLD TOWN GRAY  
TSR 39.2 E. 84 SRI 42



OLD ZINC GRAY  
TSR 37.1 E. 87 SRI 40



MOCHA  
TSR 34.4 E. 83 SRI 35

Applicant Information

Hind Saad  
HSG Engineering  
13501 Katy Fwy Suite 3380  
Houston, TX 77079  
(713)783-7777  
[hind@hsgcompanies.com](mailto:hind@hsgcompanies.com)

Owner Information

Roy Bhavi  
FlexSpace Business Parks LLC  
835 Tillman Dr  
Allen, TX 75013  
(972)674-8933  
[roybhavi@flexspacebusinessparks.com](mailto:roybhavi@flexspacebusinessparks.com)

Rockwall FlexSpace Center  
Case Number:

# Buildings 4,5,6 and 7



Buff Lueders



OLD TOWN GRAY  
TSR 39.2 E. 84 SRI 42



OLD ZINC GRAY  
TSR 37.1 E. 87 SRI 40



MOCHA  
TSR 34.4 E. 83 SRI 35

Applicant Information

Hind Saad  
HSG Engineering  
13501 Katy Fwy Suite 3380  
Houston, TX 77079  
(713)783-7777  
[hind@hsgcompanies.com](mailto:hind@hsgcompanies.com)

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[roybhavi@flexspacebusinessparks.com](mailto:roybhavi@flexspacebusinessparks.com)

Rockwall FlexSpace Center  
Case Number:





REVISIONS	

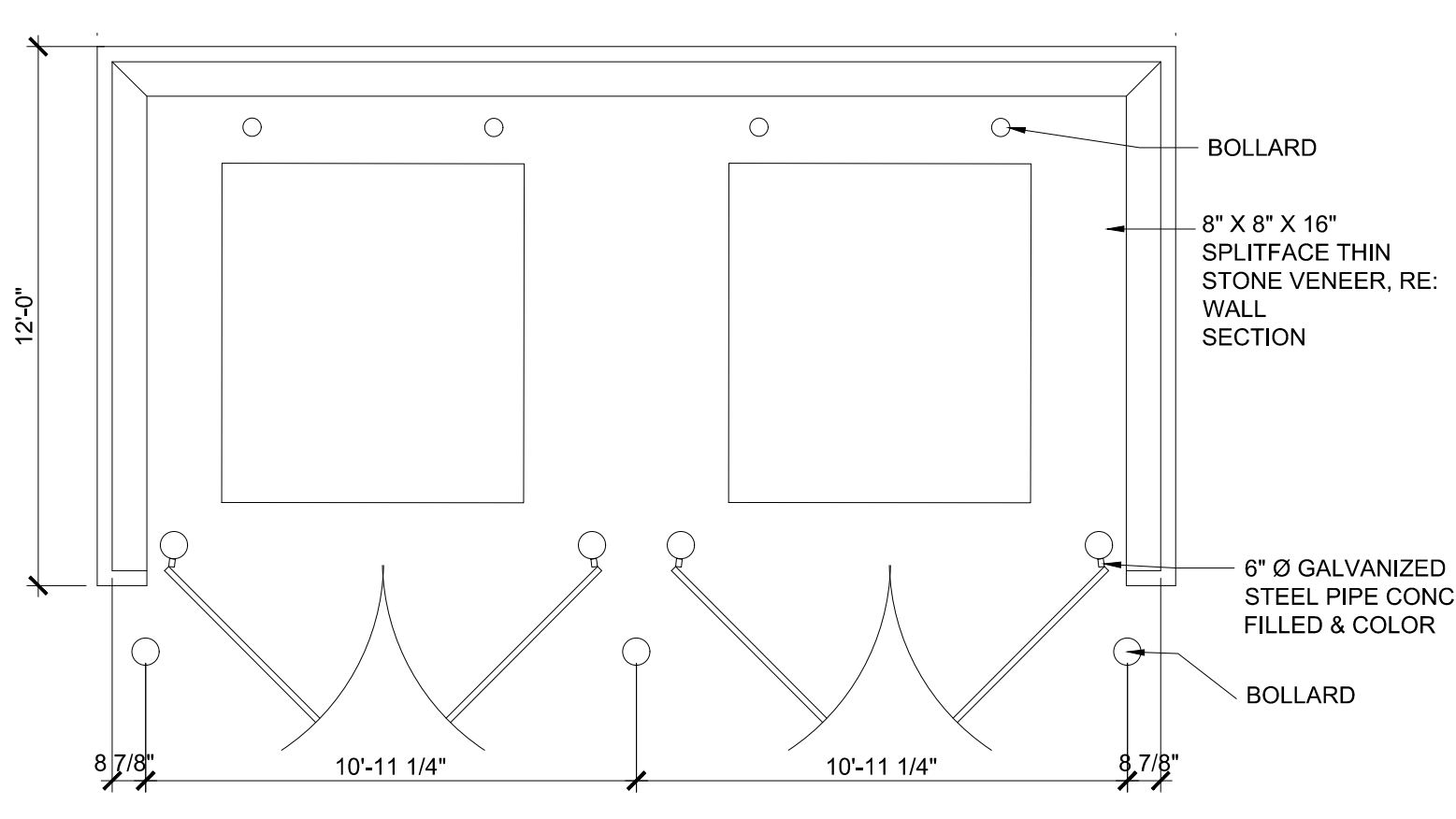
ISSUE DATE: 07/11/23

05/19/2023

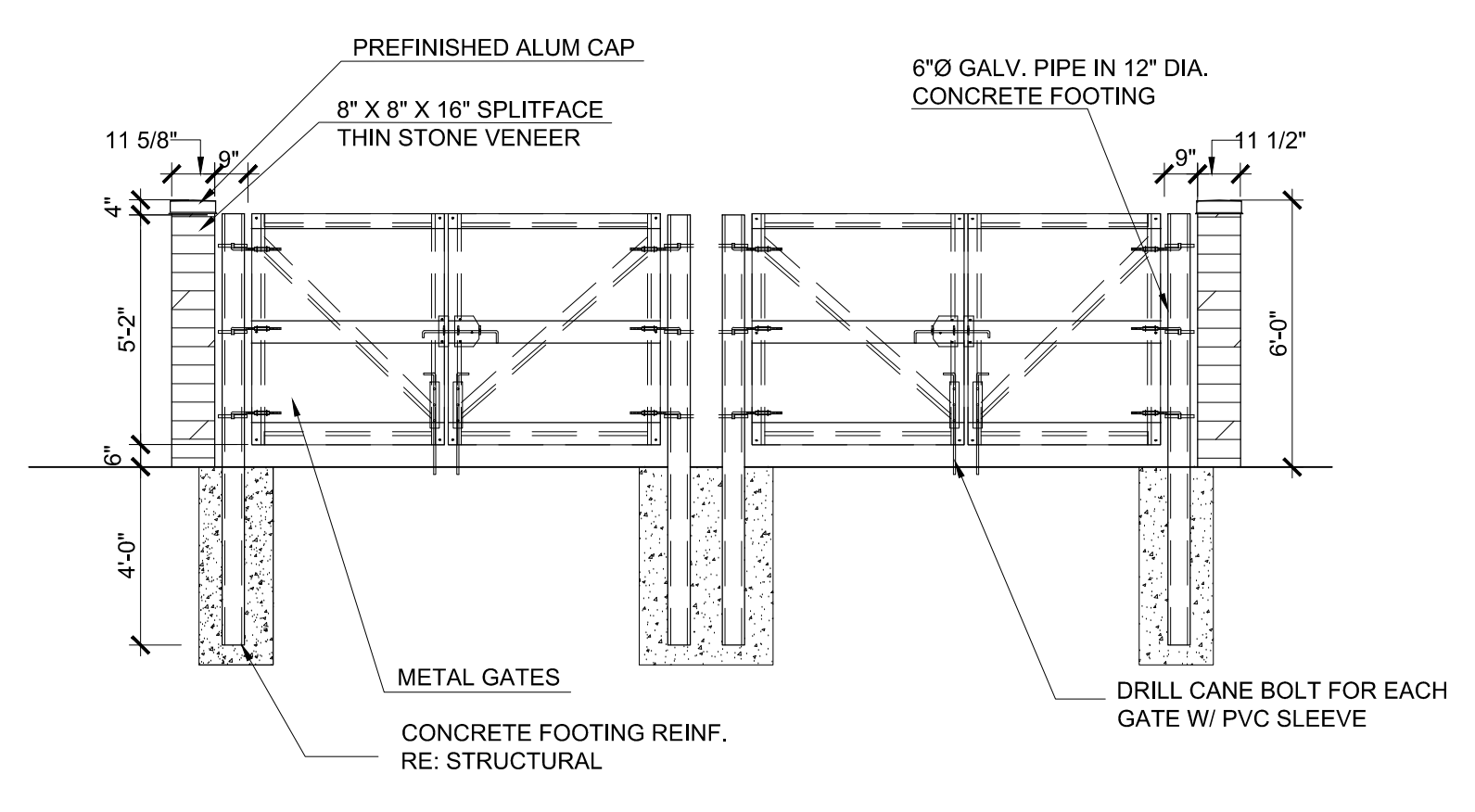
DUMPSTER DETAIL

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

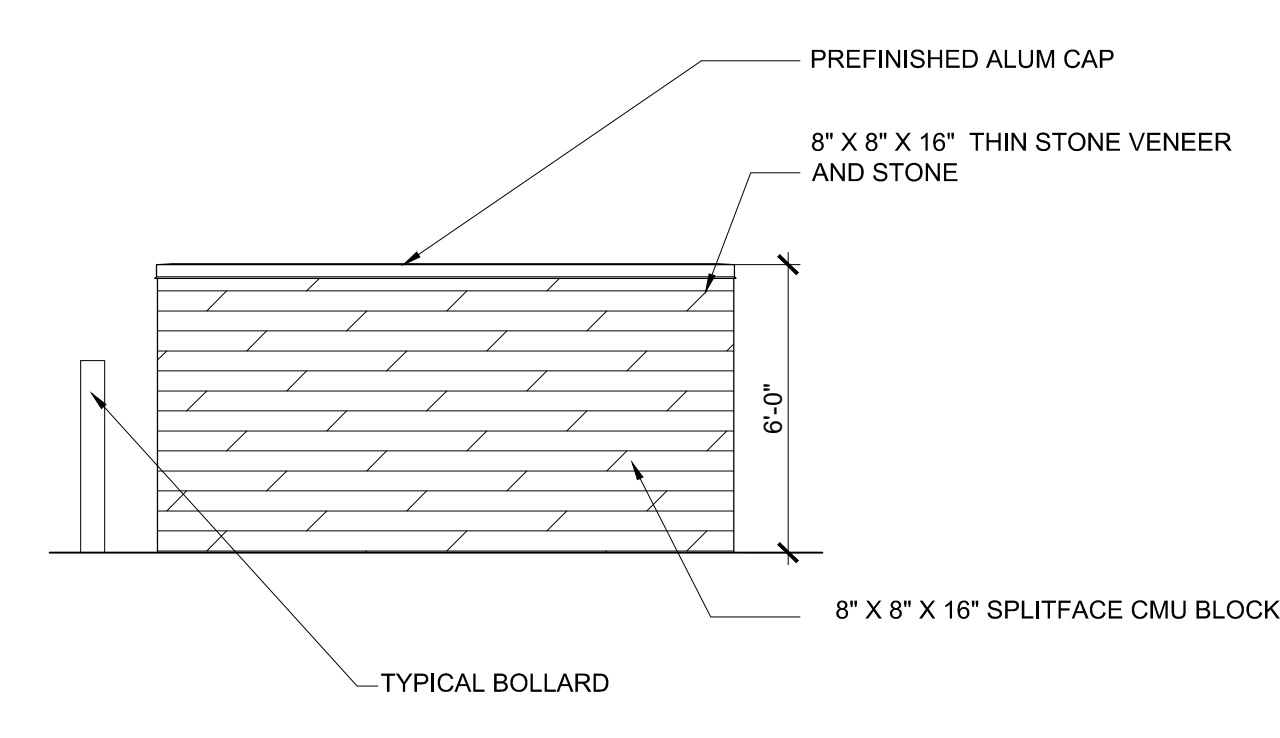
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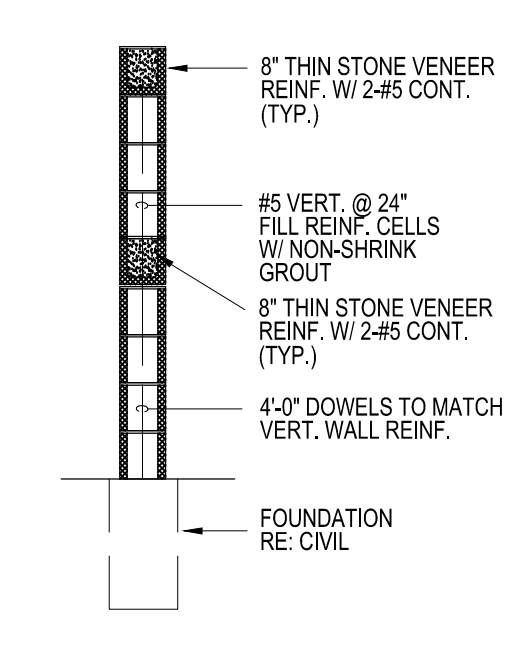
01 DUMPSTER PLAN  
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION  
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION  
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION  
Scale 3/8" = 1'-0"

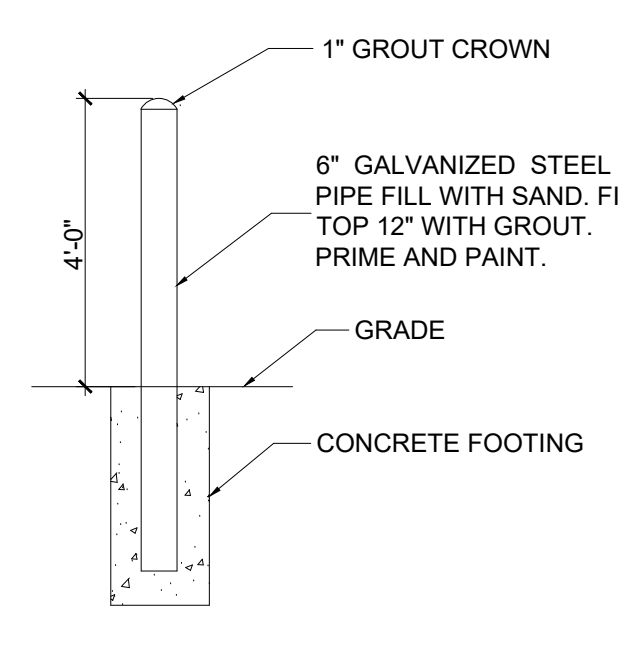
**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

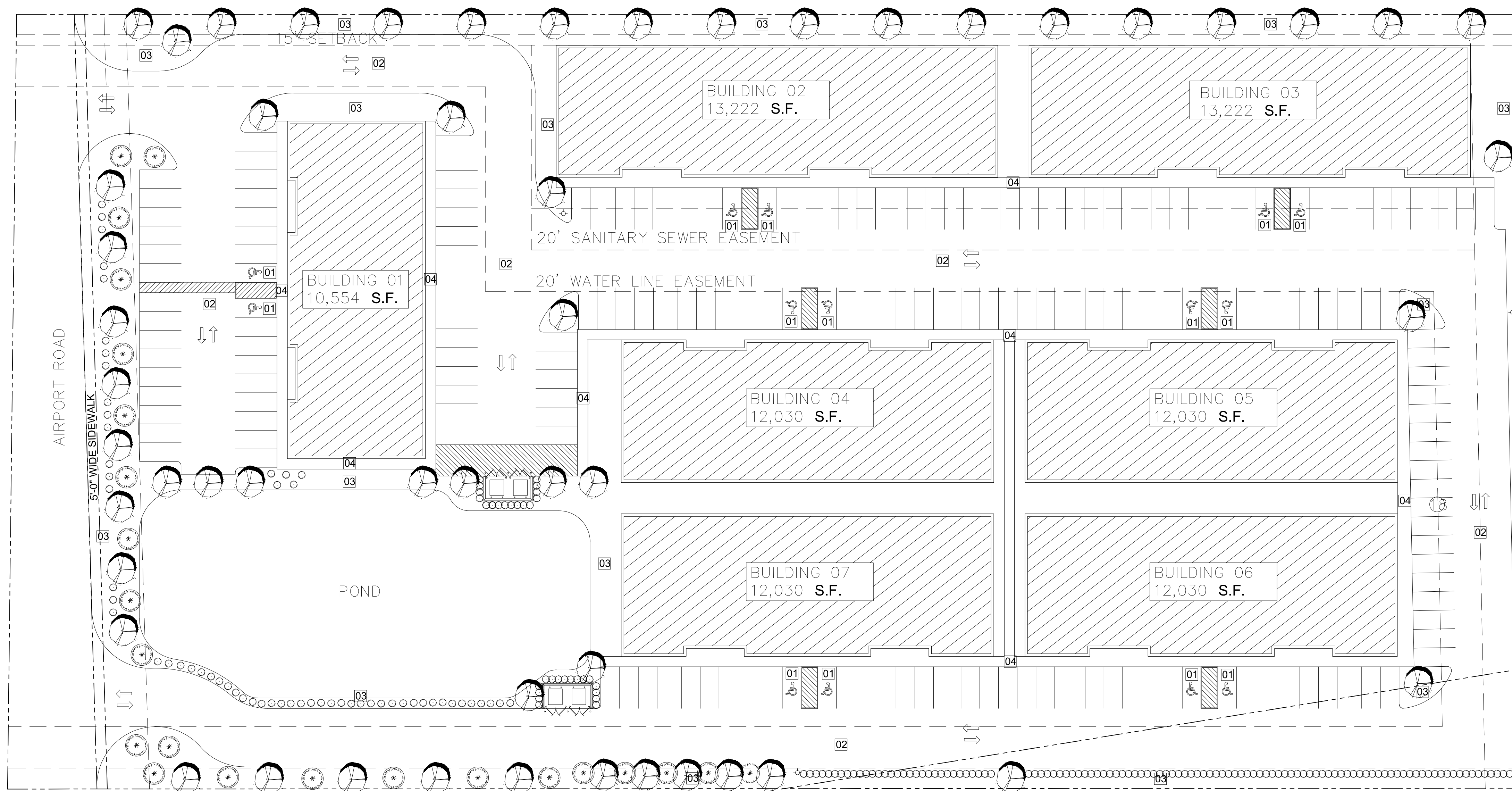
\_\_\_\_\_  
Director of Planning and Zoning



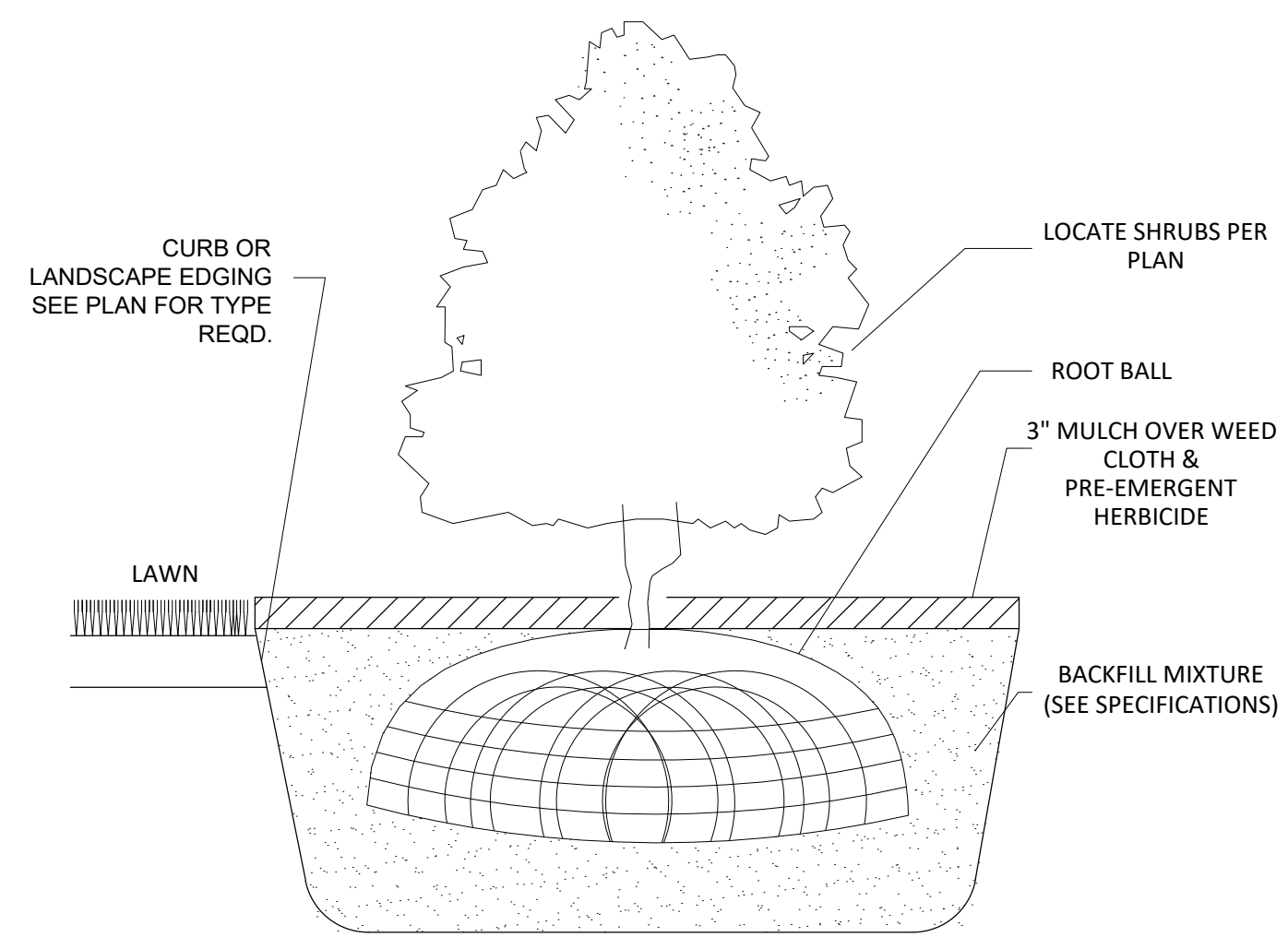
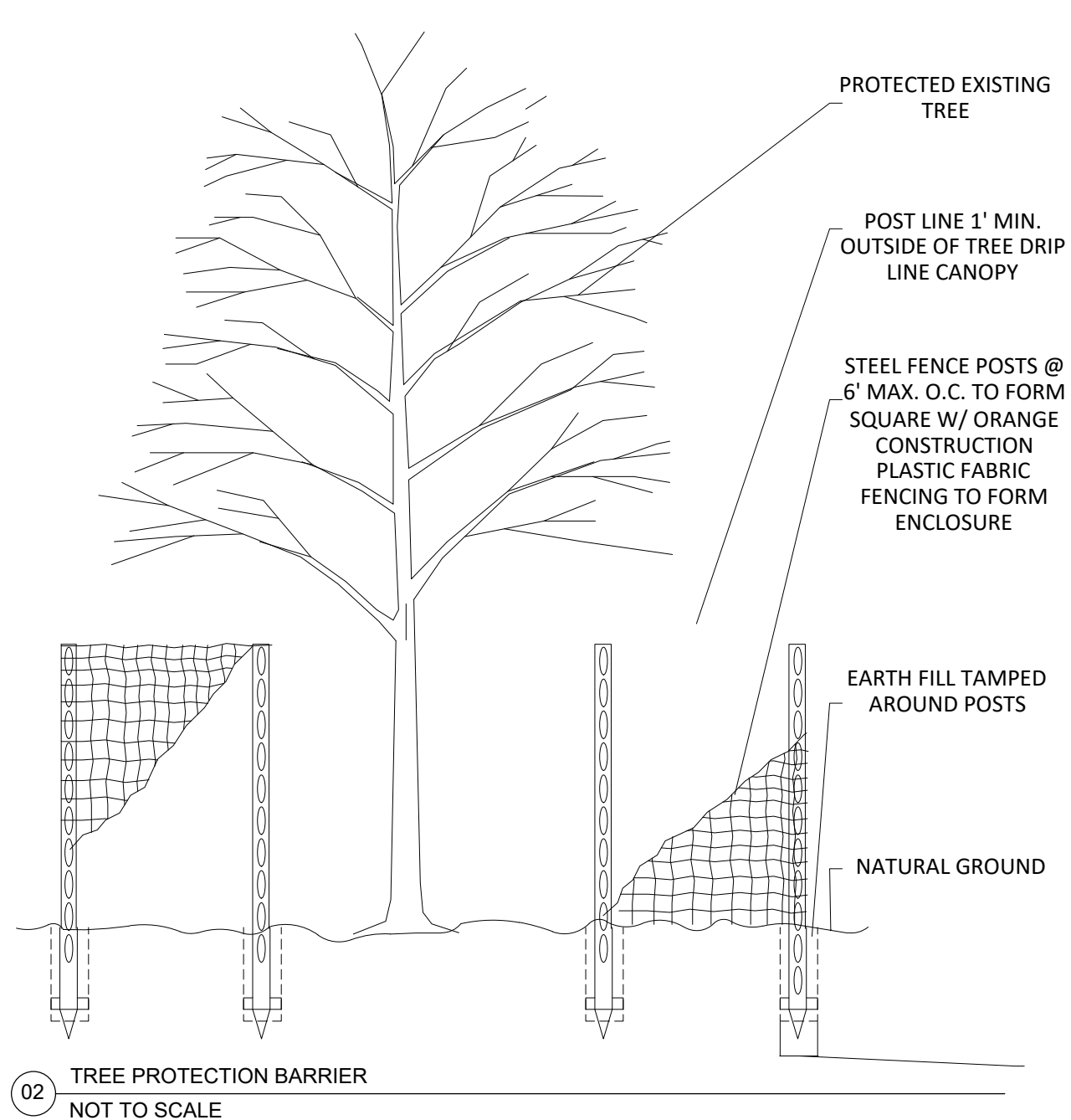
05 TRASH ENCLOSURE BOLLARD  
Scale 3/8" = 1'-0"

**GENERAL NOTES**

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER



01 SITE PLAN  
Scale 1/32" = 1' - 0"



03 SHRUB PLANTING  
NOT TO SCALE

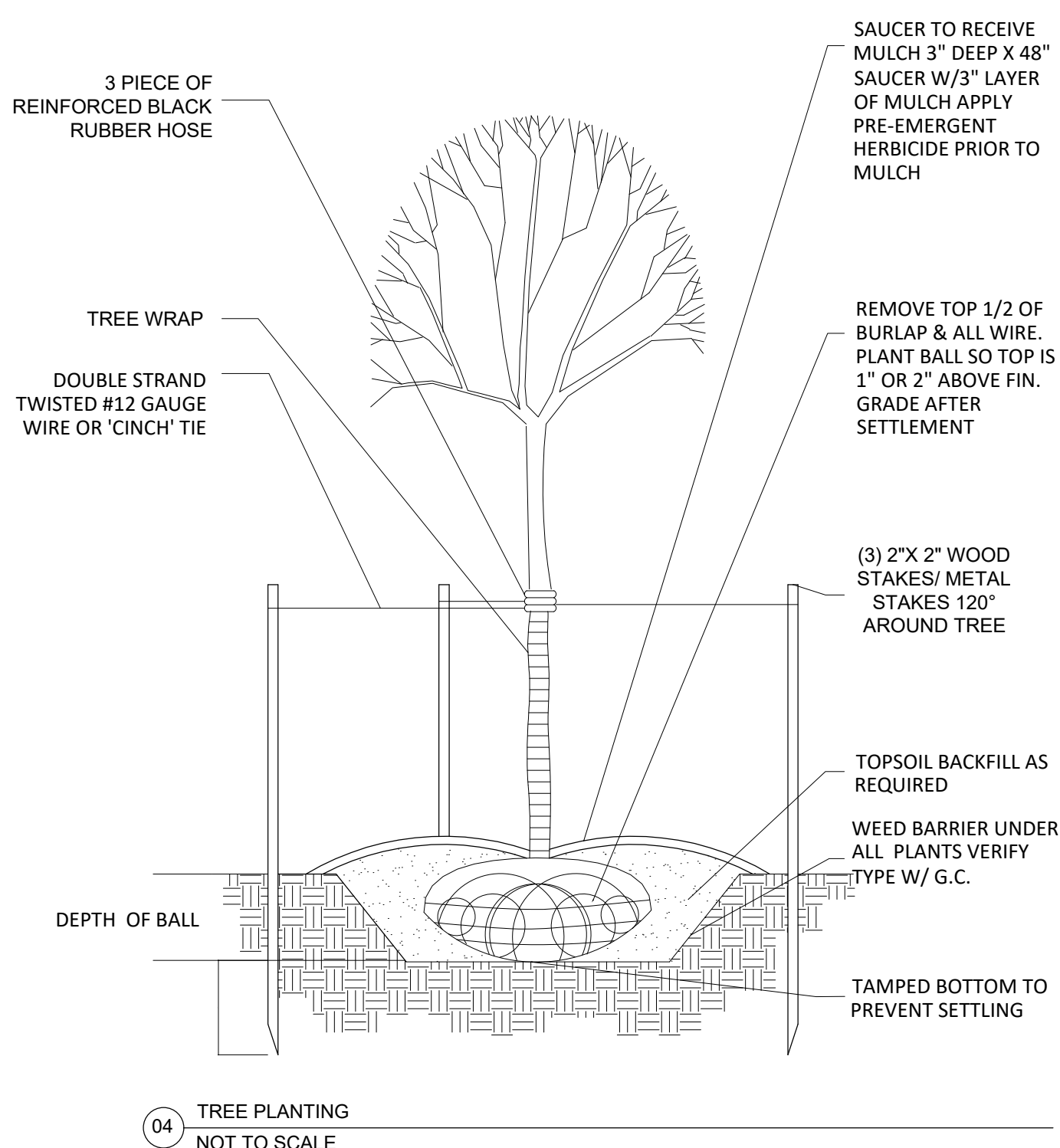
**SITE PLAN SIGNATURE BLOCK**

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WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



04 TREE PLANTING  
NOT TO SCALE

**SYMBOL LEGEND**

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - DESERT WILLOW OR EASTERN REDBUD
- SHRUB

**KEYED NOTES**

- 01 - HANDICAP SYMBOL & SIGN
- 02 - PAVING
- 03 - LANDSCAPING
- 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
- 05 - DUMPSTER

**IMPERVIOUS COVERAGE**

TOTAL PROPERTY AREA: 269,076 SF  
 TOTAL IMPERVIOUS COVER: 205,736 SF  
 TOTAL PERVIOUS COVER: 63,340 SF  
 TOTAL % OF IMPERVIOUS COVER: 76.46%

- NOTES**
- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
  - CONTRACTOR SHALL LOCATE ALL L UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
  - CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
  - CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
  - CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUNDCOVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
  - CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.
  - ALL PARKING SPACES WITHIN 80' OF A CANOPY TREE.

- GENERAL LANDSCAPE NOTES**
- ALL PLANTS SHALL BE FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
  - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING, OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
  - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY UDC REGULATIONS.
  - ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
  - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
  - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
  - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
  - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
  - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

**LANDSCAPE CALCULATIONS**

SITE AREA: 6.18 A.C.  
 15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	10 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	18 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berns and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
114 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	17 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	155 STREET SHRUBS

Berns and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

**RSG ENGINEERING**

project  
**ROCKWALL OFFICES WAREHOUSES**  
 at  
 0 AIRPORT ROAD  
 ROCKWALL, TX 75087

13501 KATY FREEWAY  
 SUITE 3180  
 HOUSTON, TEXAS 77079  
 PH. 713-783-7777  
 TYPE PERM # 15486

REVISIONS	

ISSUE DATE: 07/11/23

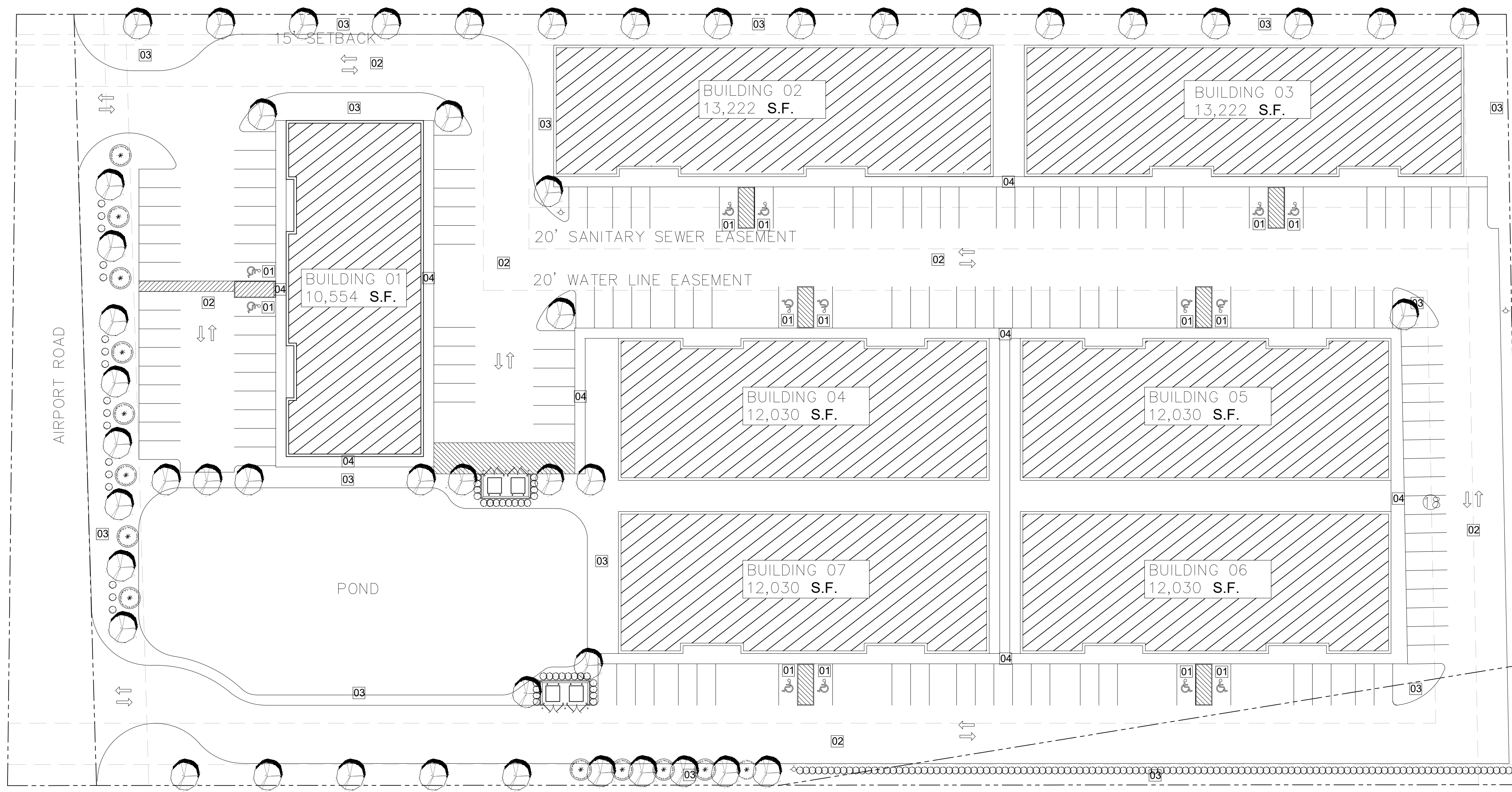
05/19/2023

LANDSCAPE

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

PROJECT No: 23420.02 SHEET No: A0.3





01 SITE PLAN  
Scale 1/32" = 1' - 0"

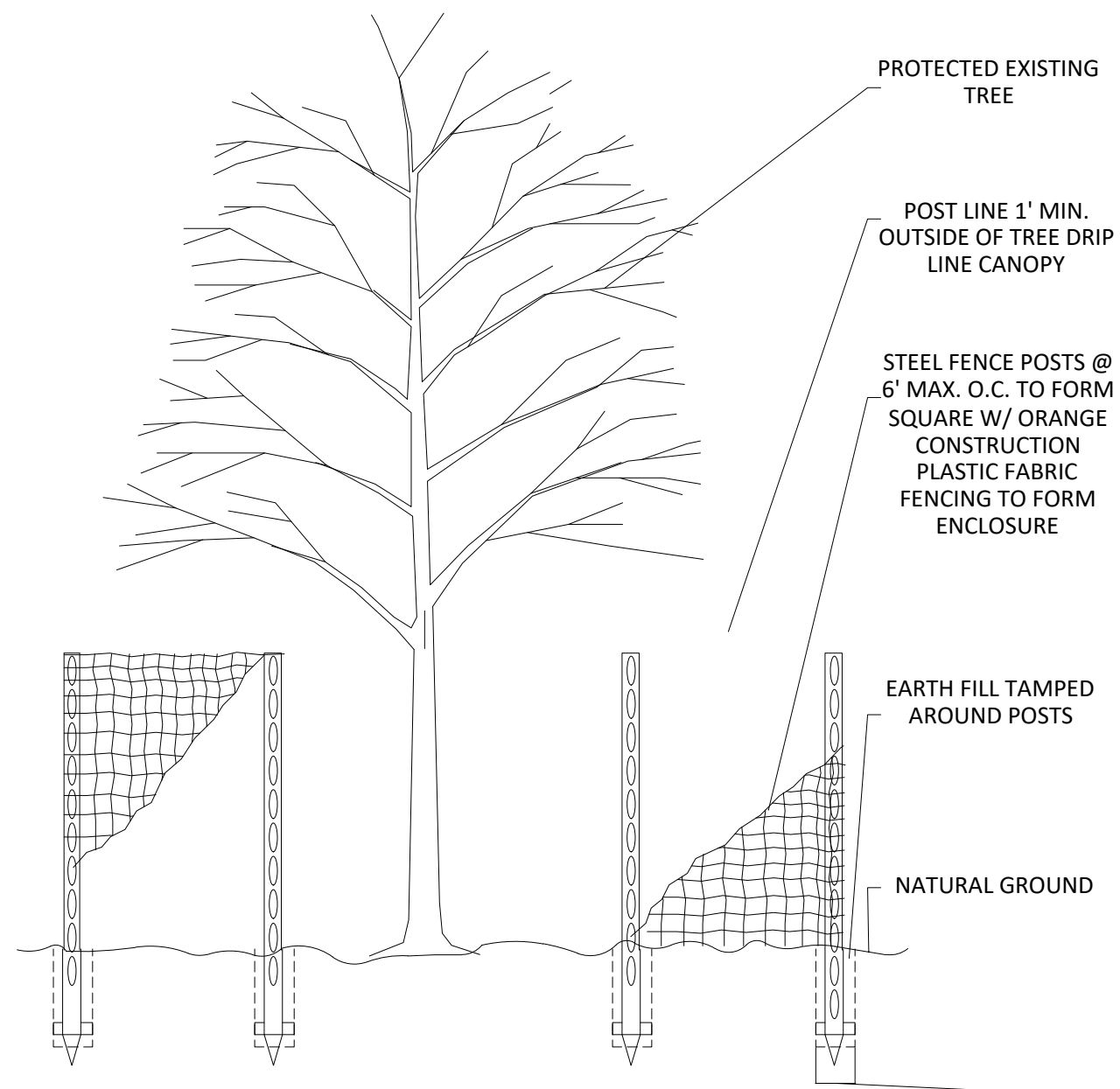
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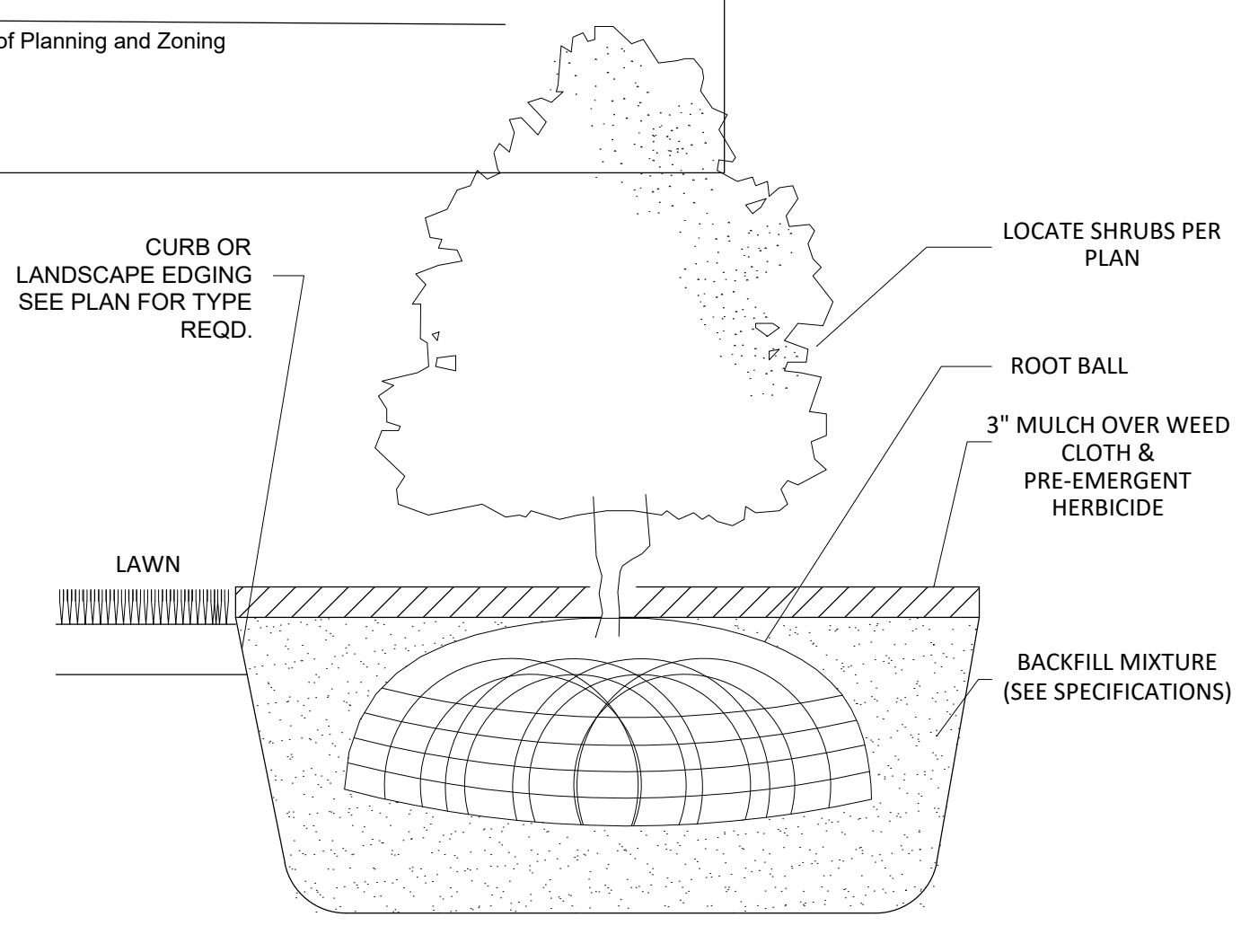
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

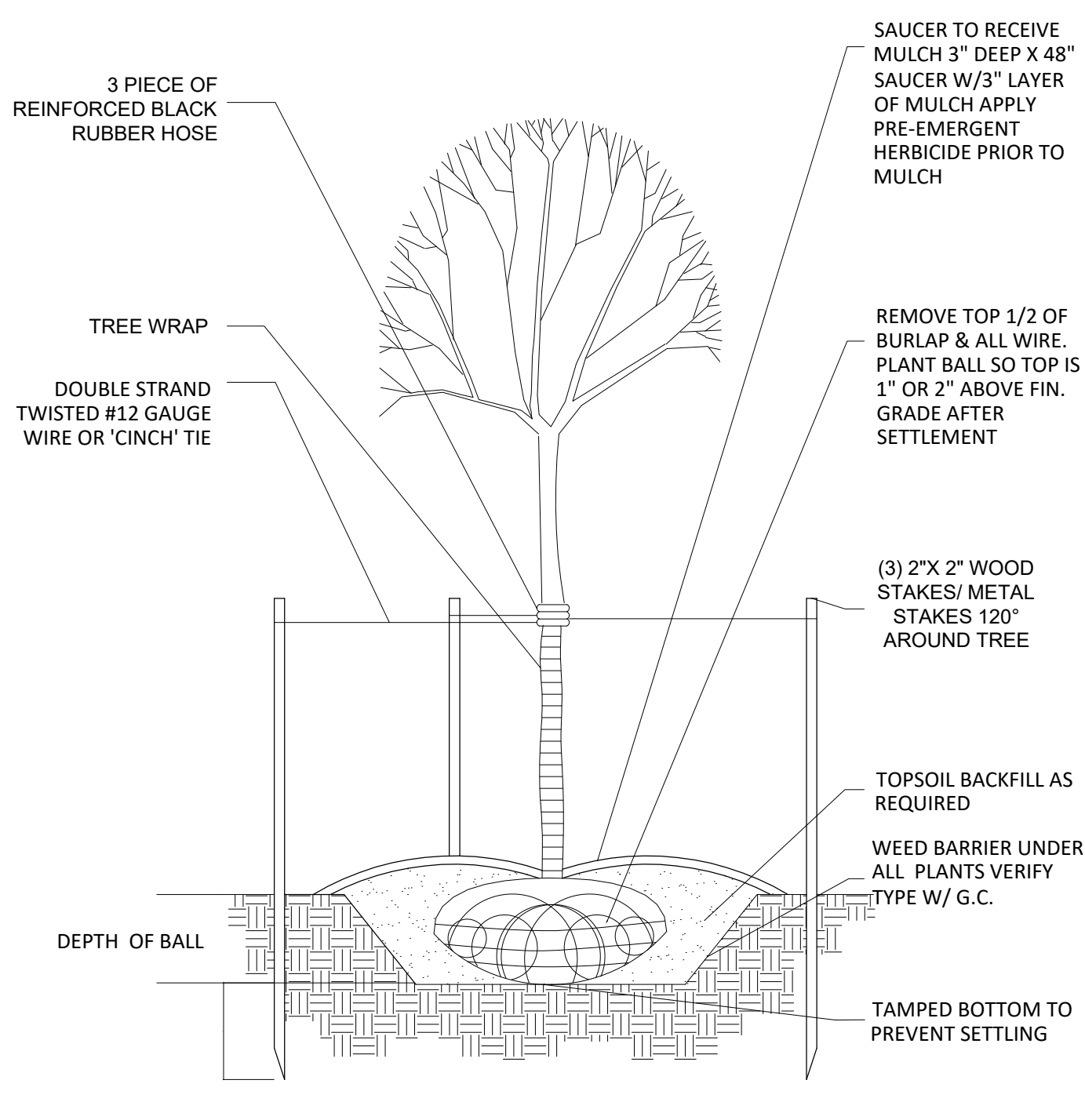
\_\_\_\_\_  
Director of Planning and Zoning



02 TREE PROTECTION BARRIER  
NOT TO SCALE



03 SHRUB PLANTING  
NOT TO SCALE



04 TREE PLANTING  
NOT TO SCALE

**SYMBOL LEGEND**

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - OCTOBER GLORY MAPLE
- SHRUB

**KEYED NOTES**

- 01 - HANDICAP SYMBOL & SIGN
- 02 - PAVING
- 03 - LANDSCAPING
- 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
- 05 - DUMPSTER

**NOTE: NO EXISTING TREES, LAND IS CLEAR, REFER TO THIS PLAN FOR PROPOSED TREES**

- NOTES**
- 1- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
  - 2- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
  - 3- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
  - 4- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
  - 5- CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
  - 6- CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.

- GENERAL LANDSCAPE NOTES**
- 1 - ALL PLANTS SHALL BE FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
  - 2- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
  - 3- GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING, OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
  - 4- CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY REGULATIONS.
  - 5- ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
  - 6- ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
  - 7- LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
  - 8- GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
  - 9- ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
  - 10 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

**Treescape CALCULATIONS**

SITE AREA: 6.18 A.C.  
15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	8 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	8 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
114 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	15 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	118 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

**RSG ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
0 AIRPORT ROAD  
ROCKWALL, TX 75087

ISSUE DATE: 05/19/23

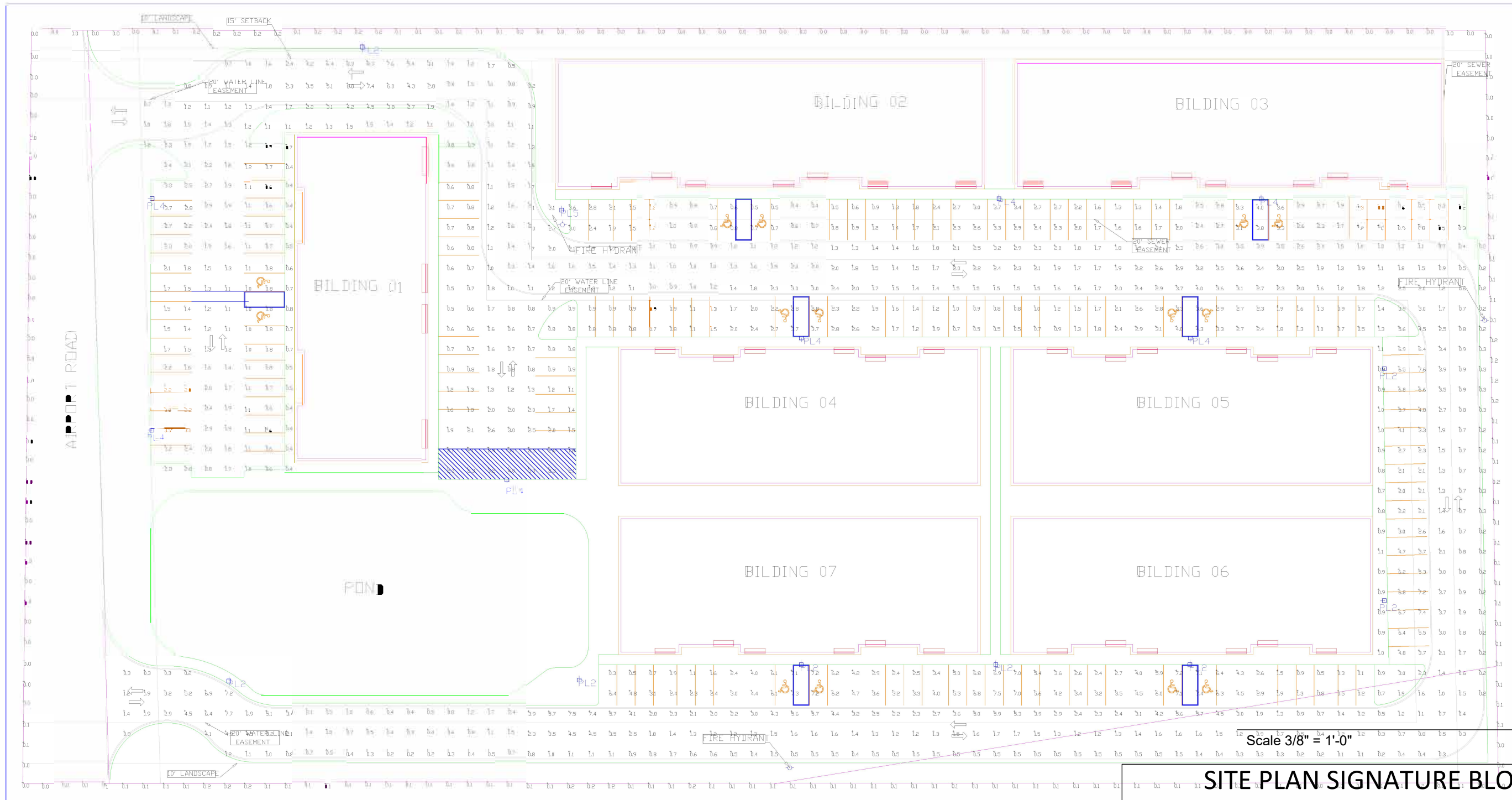
05/19/2023

TREESCAPE

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

PROJECT No: 23420.02 SHEET No: A0.3

TBPE FIRM #: 15498



### SITE PLAN SIGNATURE BLOCK

Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
□	PL2	8	Single	15594	151	0.950	Lumark PRV-PA2B-740-VOLT-T2R-HSS-FINISH
□	PL4	7	Single	14072	151	0.950	Lumark PRV-PA2B-740-VOLT-T4W-HSS-FINISH
□	PL5	1	Single	20332	151	0.950	Lumark PRV-PA2B-740-VOLT-5WQ-FINISH

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.06	0.2	0.0	N.A.	N.A.
SITE Paved Parking - Ground	Illuminance	Fc	1.94	8.3	0.1	19.40	83.00

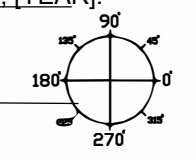
Label	Mounting HT
PL2	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

Peterson, Scharck & Assoc / Keith Peterson / 07-11-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

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WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].  
Planning & Zoning Commission, Chairman  
Director of Planning and Zoning



**Peterson, Scharck & Associates, Inc.**  
10855 Tanner Rd.  
Houston, TX 77041  
applications@psa-lighting.com

XXX  
XXX

Rockwall  
Flexspace Center  
- Site Ltg

07-11-23  
SR





## SSP Square Non-Tapered Steel Poles



**SSP**

### Pole Shaft

The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 11 gauge (0.1196"), 7 gauge (0.1793"), or 3 gauge (0.2391"). The pole shaft material shall conform to ASTM A-500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly square in cross-section with flat sides, small corner radii and excellent torsional properties.

### Base Plate

The anchor base is fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

### Anchor Bolts

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A-153. Fully galvanized anchor bolts are available upon request.

### Handhole

An oval reinforced gasketed handhole, having a nominal 3" x 5" or 4" x 6-1/2" inside opening, located 1'-6" above base, is standard on all poles. Optional 5" x 8" and 4" x 10" handholes are available (see options). A grounding provision is located inside the handhole ring.

### Finishes

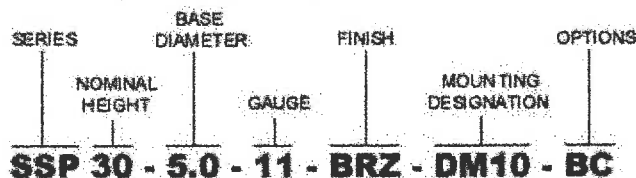
The **Standard Finish** is a polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils for all color finishes. **Hot dip Galvanized** finish to a ASTM A-123 specification or primed finish is also available. For optional finishes, see **K-KLAD** and **K-KLAD Over Galvanizing**.

## HOW TO ORDER

When ordering KW lighting standards, mounting adaptors and accessories, be sure to specify the complete catalog number. Our catalog numbers reflect the precise specifications of the item ordered to ensure our customers will receive the product which meets their exact requirements.

The following explanation of the catalog numbers will be helpful in placing orders:

### CATALOG LOGIC - ORDERING SAMPLE



Catalog Number	Nominal Height	Pole Shaft	Gauge	Handhole Size	Anchor Bolt	Bolt Circle	80 MPH	90 MPH	100 MPH	Ship WT.
SSP10-4.0-11	10	4.0 x 10.0	11	3 x 5	0.75 x 17 x 3	8	42.1	33.5	27.1	87
SSP10-4.0-7	10	4.0 x 10.0	7	3 x 5	0.75 x 30 x 3	8	55	44	35.5	130
SSP10-5.0-11	10	5.0 x 10.0	11	3 x 5	1.00 x 36 x 4	11	58	44	34	151
SSP12-4.0-11	12	4.0 x 12.0	11	3 x 5	0.75 x 17 x 3	8	33.7	26.7	21.4	100
SSP12-4.0-7	12	4.0 x 12.0	7	3 x 5	0.75 x 30 x 3	8	47.5	37.3	29.8	150
SSP12-5.0-11	12	5.0 x 12.0	11	3 x 5	1.00 x 36 x 4	11	49	38	29	168
SSP14-4.0-11	14	4.0 x 14.0	11	3 x 5	0.75 x 17 x 3	8	27.4	21.5	17.1	113
SSP14-4.0-7	14	4.0 x 14.0	7	3 x 5	0.75 x 30 x 3	8	40	31	24.5	170

SSP14-5.0-11	14	5.0 x 14.0	11	3 x 5	1.00 x 36 x 4	11	40	30	23	184
SSP14-5.0-7	14	5.0 x 14.0	7	3 x 5	1.00 x 36 x 4	11	65	52	41.5	242
SSP15-4.0-11	15	4.0 x 15.0	11	3 x 5	0.75 x 17 x 3	8	20.7	16.1	12.6	119
SSP15-4.0-7	15	4.0 x 15.0	7	3 x 5	0.75 x 30 x 3	8	30.9	24.4	19.6	172
SSP15-5.0-11	15	5.0 x 15.0	11	3 x 5	1.00 x 36 x 4	11	36	27.5	21	192
SSP15-5.0-7	15	5.0 x 15.0	7	3 x 5	1.00 x 36 x 4	11	59	46.5	37	254
SSP16-4.0-11	16	4.0 x 16.0	11	3 x 5	0.75 x 17 x 3	8	18.7	14.4	11.2	125
SSP16-4.0-7	16	4.0 x 16.0	7	3 x 5	0.75 x 30 x 3	8	27.2	20.7	16	210
SSP16-5.0-11	16	5.0 x 16.0	11	3 x 5	1.00 x 36 x 4	11	33.5	25	18	201
SSP16-5.0-7	16	5.0 x 16.0	7	3 x 5	1.00 x 36 x 4	11	54	43	34	266
SSP18-4.0-11	18	4.0 x 18.0	11	3 x 5	0.75 x 17 x 3	8	15.2	11.5	8.7	138
SSP18-4.0-7	18	4.0 x 18.0	7	3 x 5	0.75 x 30 x 3	8	27.2	20.7	16	210
SSP18-5.0-11	18	5.0 x 18.0	11	3 x 5	1.00 x 36 x 4	11	27	19.5	15	218
SSP18-5.0-7	18	5.0 x 18.0	7	3 x 5	1.00 x 36 x 4	11	46	36	28	291
SSP20-4.0-11	20	4.0 x 20.0	11	3 x 5	0.75 x 17 x 3	8	12.3	9	6.5	151
SSP20-4.0-7	20	4.0 x 20.0	7	3 x 5	0.75 x 30 x 3	8	19.6	15	11.5	219
SSP20-5.0-11	20	5.0 x 20.0	11	3 x 5	1.00 x 36 x 4	11	22.2	16.8	12.6	235
SSP20-5.0-7	20	5.0 x 20.0	7	3 x 5	1.00 x 36 x 4	11	35.4	27.5	21.5	313
SSP20-6.0-7	20	6.0 x 20.0	7	3 x 5	1.00 x 36 x 4	11.5	56	42.5	33.5	368
SSP22-4.0-11	22	4.0 x 22.0	11	3 x 5	0.75 x 17 x 3	8	6.9	4.3	2.3	182
SSP22-4.0-7	22	4.0 x 22.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP22-5.0-11	22	5.0 x 22.0	11	3 x 5	1.00 x 36 x 4	11	18.5	13.6	9.8	252
SSP22-5.0-7	22	5.0 x 22.0	7	3 x 5	1.00 x 36 x 4	11	30.2	23.2	17.8	337
SSP22-6.0-7	22	6.0 x 22.0	7	3 x 5	1.00 x 36 x 4	11.5	49	37.5	28	398
SSP24-4.0-7	24	4.0 x 24.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP24-5.0-11	24	5.0 x 24.0	11	3 x 5	1.00 x 36 x 4	11	15.2	10.8	7.4	268
SSP24-5.0-7	24	5.0 x 24.0	7	3 x 5	1.00 x 36 x 4	11	25.8	19.4	14.6	361
SSP24-6.0-7	24	6.0 x 24.0	7	3 x 5	1.00 x 36 x 4	11.5	42	31.5	23	428
SSP25-4.0-11	25	4.0 x 25.0	11	3 x 5	0.75 x 17 x 3	8	6.9	4.3	2.3	182
SSP25-4.0-7	25	4.0 x 25.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP25-5.0-11	25	5.0 x 25.0	11	3 x 5	1.00 x 36 x 4	11	13.8	9.5	6.3	276
SSP25-5.0-7	25	5.0 x 25.0	7	3 x 5	1.00 x 36 x 4	11	23.8	17.7	13.1	373
SSP25-6.0-7	25	6.0 x 25.0	7	3 x 5	1.00 x 36 x 4	11.5	39	28.5	21	443
SSP26-4.0-7	26	4.0 x 26.0	7	3 x 5	0.75 x 30 x 3	8	6.9	4	1	312
SSP26-5.0-11	26	5.0 x 26.0	11	3 x 5	1.00 x 36 x 4	11	12.4	8.3	5.2	284
SSP26-5.0-7	26	5.0 x 26.0	7	3 x 5	1.00 x 36 x 4	11	21.9	16.1	11.8	384
SSP26-6.0-7	26	6.0 x 26.0	7	3 x 5	1.00 x 36 x 4	11.5	35.5	25.5	18.5	457
SSP28-4.0-7	28	4.0 x 28.0	7	3 x 5	0.75 x 30 x 3	8	6.9	4	1	312
SSP28-5.0-11	28	5.0 x 28.0	11	3 x 5	1.00 x 36 x 4	11	9.8	6.1	3.2	300
SSP28-5.0-7	28	5.0 x 28.0	7	3 x 5	1.00 x 36 x 4	11	18.4	13.2	9.2	408
SSP28-6.0-7	28	6.0 x 28.0	7	3 x 5	1.00 x 36 x 4	11.5	30	21.5	15	487
SSP30-4.0-7	30	4.0 x 30.0	7	3 x 5	0.75 x 30 x 3	8	6.9	4	1	312
SSP30-5.0-11	30	5.0 x 30.0	11	3 x 5	1.00 x 36 x 4	11	6.5	3.5	1.2	315
SSP30-5.0-7	30	5.0 x 30.0	7	3 x 5	1.00 x 36 x 4	11	13.4	9.1	5.9	432
SSP30-6.0-7	30	6.0 x 30.0	7	3 x 5	1.00 x 36 x 4	11.5	27.5	19.9	14.1	512
SSP30-6.0-3	30	6.0 x 30.0	3	3 x 5	1.00 x 36 x 4	12	34.3	25.3	18.5	645
SSP35-5.0-7	35	5.0 x 35.0	7	3 x 5	1.00 x 36 x 4	11	7.2	3.7	1	491
SSP35-6.0-7	35	6.0 x 35.0	7	3 x 5	1.00 x 36 x 4	11.5	15	9.5	5.3	584
SSP35-6.0-3	35	6.0 x 35.0	3	3 x 5	1.00 x 36 x 4	12	19.7	13.2	8.2	739
SSP39-6.0-7	39	6.0 x 39.0	7	3 x 5	1.00 x 36 x 4	11.5	9.2	4.3	0.6	642
SSP39-6.0-3	39	6.0 x 39.0	3	3 x 5	1.00 x 36 x 4	12	13	7.4	3.1	814

**FINISHES**

**Standard**

- BRZ** Bronze
- BLK** Black
- GRY** Gray
- GRN** Green
- WHT** White
- P** Primed
- NA** Natural Aluminum

**Galvanized**

- G** Galvanized

**K-KLAD**

- K813** Bronze
- K821** Black
- K841** Gray
- K891** Green
- K881** White
- K845** Natural Aluminum

**K-KLAD Over Galvanizing**

- KZ13** Bronze
- KZ21** Black
- KZ41** Gray
- KZ91** Green
- KZ81** White
- KZ45** Natural Aluminum

1 YEAR WARRANTY

5 YEAR WARRANTY

10 YEAR WARRANTY



**MOUNTING DESIGNATIONS**

**Tenon Mount**

- 2** 2 3/8" x 4" TENON
- 3** 2 7/8" x 4" TENON
- 3.5** 3 1/2" x 6" TENON
- 4** 4" x 6" TENON

**Drill Mount**

- DM10** Drilled for 1 Luminaire
- DM2090** Drilled for 2 Luminaires @ 90°
- DM2180** Drilled for 2 Luminaires @ 180°
- DM3090** Drilled for 3 Luminaires @ 90°
- DM4090** Drilled for 4 Luminaires @ 90°

**Open Mount**

- OT** Open Top
- OTC** Open Top includes Pole Cap

**Gain Mount**

- 1GSS4** (1) CXA
- 2GSS4** (2) CXA's located on the Same Side
- 3GSS4** (3) CXA's located on the Same Side
- 4GSS4** (4) CXA's located on the Same Side
- 2GBB4** (2) CXA's located Back to Back
- 4GBB4** (4) CXA's located Back to Back
- 1GSS9** (1) CXASQ
- 2GSS9** (2) CXASQ's located on the Same Side
- 3GSS9** (3) CXASQ's located on the Same Side
- 4GSS9** (4) CXASQ's located on the Same Side
- 2GBB9** (2) CXASQ's located Back to Back
- 4GBB9** (4) CXASQ's located Back to Back

**OPTIONS**

There are numerous options that can be ordered. Please indicate these selections under the options column in the catalog number. Example: CPL-WPR2-BC.

**Accessories**

- BC** Base Cover
- CPL** Threaded Coupling\*
- NPL** Threaded Nipple\*
- WPRP** Festoon Opening\*\*
- LAB** Less Anchor Bolt

**Optional Handholes**

- 5BHH** 5" x 8" Handhole\*
- 410HH** 4" x 10" Handhole\*

**Extra Handholes**

- XHH** Extra Handhole\*

**Embedment Pole Options**

- E** Embedded Pole
- GS** Ground Sleeve
- CTE** Coal Tar Epoxy

**For Embedment Poles:**

Recommended Mounting Height	Recommended Embedment Depth
Less than 20'	4'
20' - 33'	6'
Greater than 33'	7'

Greater embedment depths are available upon request. Embedment poles greater than 35' are not available.

**Additional Simplex**

- 1S** 1 @ 0° \*
- 2S** 2 @ 180° \*
- 3S** 3 @ 90° \*
- 4S** 4 @ 90° \*

\* Please advise size, location, and orientation. (Handholes are restricted by size of pole shaft diameter)

\*\* Located 24" above baseplate and same side as handhole. (No electrical included)

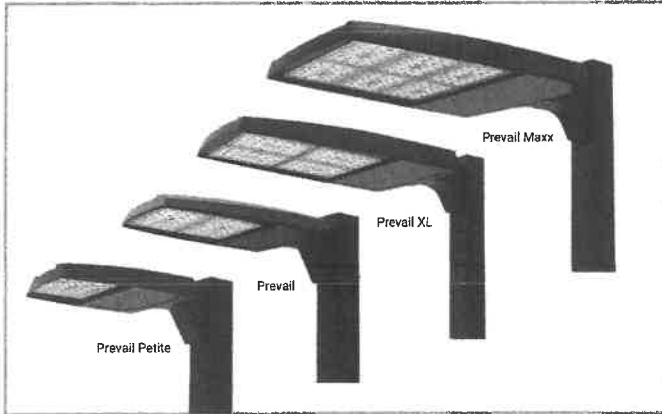
**PACKAGING**

Immediately after coating, the lighting standard including the baseplate shall be wrapped in heavy corrugation specially designed and sized to achieve maximum protection in transit.

KW Industries, Inc. coating process system and stringent quality control procedures provide our customer the finest quality lighting standards in the industry.



Project	ROCKWALL FLEXSPACE	Catalog #		Type	PL2, PL4, PL5
Prepared by	PSA LIGHTING	Notes		Date	



# Lumark

## Prevail Discrete LED

Area / Site Luminaire

### Product Features



### Product Certifications



**Interactive Menu**

- Ordering Information page 2
- Mounting Details page 3,4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6,7
- Control Options page 8

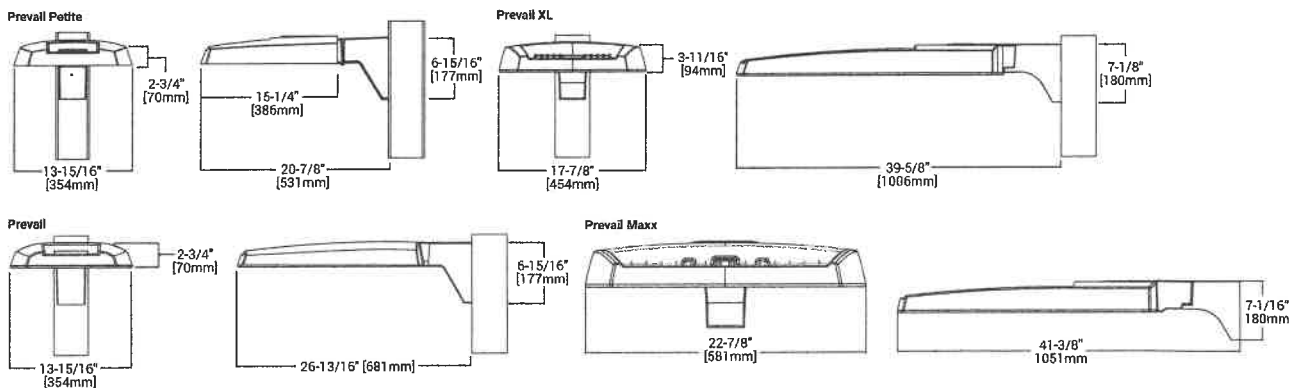
### Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

### Connected Systems

- WaveLinx

### Dimensional Details



**NOTES:**  
 1. Visit <https://www.designlights.com/search/> to confirm qualification. Not all product variations are DLC qualified.  
 2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: PRV-XL-PA4B-740-U-T4W-BZ

Product Family <sup>1,2</sup>	Light Engine		Color Temperature	Voltage	Distribution	Mounting (Included)	Finish	
	Configuration	Drive Current <sup>4</sup>						
PRV-P=Prevail Petite BAA-PRV-P=Prevail Petite BAA Buy American Act Compliant <sup>3</sup> TAA-PRV-P=Prevail Petite TAA Trade Agreements Act Compliant <sup>3</sup>	PA1=1 Panel, 24 LED Rectangle	A=400mA Nominal B=700mA Nominal C=950mA Nominal D=1200mA Nominal	740=70CRI, 4000K 730=70CRI, 3000K 750=70CRI, 5000K	U=Universal, 120-277V H=High Voltage, 347-480V 9=347V 8=480V <sup>5</sup> DV=DuraVolt, 277-480V <sup>5,6</sup>	T2R=Type II Roadway T2U=Type II Urban T3=Type III T4W=Type IV Wide 5WQ=Type V Square Wide	SA=QM Standard Versatile Arm; MA=QM Mast Arm FMA=Fixed Mast Arm <sup>24</sup> WM=QM Wall Mount Arm ADJA-WM= Adjustable Arm - Wall Mount <sup>24</sup> ADJA=Adjustable Arm - Pole Mount <sup>24</sup> ADJS=Adjustable Arm - Slipfitter, 3" vertical tenon <sup>24</sup> SP2=Adjustable Arm - Slipfitter, 2 3/8" vertical tenon <sup>24, 26</sup>	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	
PRV=Prevail BAA-PRV=Prevail BAA Buy American Act Compliant <sup>3</sup> TAA-PRV=Prevail TAA Trade Agreements Act Compliant <sup>3</sup>	PA1=1 Panel, 24 LED Rectangle PA2=2 Panels, 48 LED Rectangles	A=700mA Nominal B=950mA Nominal						
PRV-XL=PRV XL BAA-PRV-XL=Prevail XL BAA Buy American Act Compliant <sup>3</sup> TAA-PRV-XL=Prevail XL TAA Trade Agreements Act Compliant <sup>3</sup>	PA3=3 Panels, 72 LED Rectangles PA4=4 Panels, 96 LED Rectangles	A=750mA Nominal B=950mA Nominal						
PRV-M=Prevail Maxx BAA-PRV-M=Prevail Maxx BAA Buy American Act Compliant <sup>3</sup> TAA-PRV-M=Prevail Maxx TAA Trade Agreements Act Compliant <sup>3</sup>	PA5= 5 Panels, 144 LED Rectangles	A=600mA Nominal B=800mA Nominal C=1000mA Nominal D=1200mA Nominal						
Options (Add as Suffix)			Accessories (Order Separately) <sup>29, 30</sup>					
10K=10kV UL 1449 Fused Surge Protective Device 20MSP=20kV MOV Surge Protective Device 20K=20kV UL 1449 Fused Surge Protective Device L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right CC=Coastal Construction finish <sup>21</sup> HSS=House Side Shield (Factory-Installed) <sup>7</sup> HA=50°C High Ambient Temperature <sup>4</sup> PR=NEMA 3-PIN Twistlock Photocontrol Receptacle <sup>10</sup> PR7=NEMA 7-PIN Twistlock Photocontrol Receptacle <sup>10</sup> MS/DIM-L08=Motion Sensor for Dimming Operation, Up to 8' Mounting Height <sup>11, 12, 13, 27</sup> MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height <sup>11, 12, 13, 28, 29</sup> MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height <sup>11, 12, 13</sup> SPB1=Motion Sensor for Dimming Operation, BLE Interface, Up to 8' Mounting Height <sup>11, 14, 22</sup> SPB2=Motion Sensor for Dimming Operation, BLE Interface, 8' - 20' Mounting Height <sup>11, 14, 23, 28</sup> SPB4=Motion Sensor for Dimming Operation, BLE Interface, 21' - 40' Mounting Height <sup>11, 14, 23</sup> ZW=Wavelinx-enabled 4-PIN Twistlock Receptacle <sup>11, 12</sup> ZD=DALI-enabled 4-PIN Twistlock Receptacle <sup>11, 12</sup>			ZW-SWPD4XX=Wavelinx Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting Height <sup>11, 12, 15, 16, 17, 22</sup> ZW-SWPD5XX=Wavelinx Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting Height <sup>11, 12, 15, 16, 17, 22, 23</sup> ZD-SWPD4XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, 7' - 15' Mounting Height <sup>11, 12, 15, 16, 17, 22</sup> ZD-SWPD5XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, 15' - 40' Mounting Height <sup>11, 12, 15, 16, 17, 22, 23</sup> (See Table Below)=LumenSafe Integrated Network Security Camera <sup>18, 19</sup>		PRVSA-XX=Standard Arm Mounting Kit <sup>22</sup> PRVMA-XX=Mast Arm Mounting Kit <sup>22</sup> PRVWM-XX=Wall Mount Kit <sup>22</sup> PRV-ADJA-XX=Adjustable Arm - Pole Mount Kit <sup>22</sup> PRV-ADJS-XX=Adjustable Arm - Slipfitter Kit <sup>22</sup> PRV-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit <sup>22</sup> PRVXLSA-XX=Standard Arm Mounting Kit <sup>23</sup> PRVXLSA-XX=Mast Arm Mounting Kit <sup>23</sup> PRVXLSA-WM-XX=Wall Mount Kit <sup>23</sup> PRV-XL-ADJA-XX=Adjustable Arm - Pole Mount Kit <sup>23</sup> PRV-XL-ADJA-WM-XX= Adjustable Arm - Wall Mount Kit <sup>23</sup> PRV-XL-ADJS-XX= Adjustable Arm - Slipfitter Kit <sup>23</sup> PRV-M-ADJA-XX=Adjustable Arm - Pole Mount Kit <sup>23</sup> PRV-M-ADJS-XX=Adjustable Arm - Slipfitter Kit <sup>23</sup> PRV-M-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit <sup>23</sup> MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon		MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon SRA238=Tenon Adapter from 3" to 2-3/8" PRV/DIS-FDV=Full Drop Visor <sup>24</sup> PRVXL/DIS-FDV=Full Drop Visor <sup>14</sup> HSS-VP=House Side Shield Kit, Vertical Panel <sup>7, 24</sup> HSS-HP=House Side Shield Kit, Horizontal Panel <sup>7, 24</sup> VGS-ARCH= Panel Drop Shield, Short VGL-ARCH= Panel Drop Shield, Long OA/RA1013=Photocontrol Shorting Cap OA/RA1014=NEMA Photocontrol - 120V OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V FSIR-100=Wireless Configuration Tool for Occupancy Sensor <sup>25</sup> WOLC-7P-10A=Wavelinx Outdoor Control Module (7-PIN) <sup>27</sup> SRPD4-XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height <sup>18, 19, 17, 22, 23</sup> SWPD5-XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height <sup>18, 19, 17, 22, 23</sup>	
<p><b>NOTES:</b></p> <ol style="list-style-type: none"> <li>DesignLights Consortium® Qualified. Refer to <a href="http://www.designlights.org">www.designlights.org</a> Qualified Products List under Family Models for details.</li> <li>Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WPS12001EN for additional support information.</li> <li>Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to <a href="http://www.designlights.org">www.designlights.org</a> website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.</li> <li>Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables.</li> <li>480V not to be used with ungrounded or impedance grounded systems.</li> <li>DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit <a href="http://www.signify.com/duravolt">www.signify.com/duravolt</a> for more information.</li> <li>House Side Shield not for use with 5WQ distribution.</li> <li>Not available with PATD light engine in Petite housing (PRV-P).</li> <li>Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654.</li> <li>If High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used.</li> <li>Controls system is not available in combination with a photocontrol receptacle (PR or PR7) or another controls system (MS, SPB, ZD, or ZW).</li> <li>Option not available with High Voltage (H) or DuraVolt (DV). Must specify Universal (U), 347V (9), or 480V (B) voltage.</li> <li>Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately.</li> <li>Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details.</li> <li>Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F).</li> <li>In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with Wavelinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information.</li> <li>Replace XX with sensor color (WH, BZ or BK).</li> <li>Only available in PRV-XL configurations.</li> <li>Not available with High Voltage (H, DV, 8 or 9) or HA options. Consult LumenSafe system product pages for additional details and compatibility information.</li> <li>Replace XX with paint color.</li> <li>For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.</li> <li>Not for use with PRV-XL or PRV-M configurations.</li> <li>Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P.</li> <li>Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 3, 4, or 6). Refer to House Side Shield reference table for details.</li> <li>This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information.</li> <li>Requires 4-PIN twistlock receptacle option (ZD or ZW) option.</li> <li>Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, ZD, ZW or LWR). Only for use at 120-347V.</li> <li>Only available for PRV-M configurations.</li> <li>Only for use with PRV-XL.</li> <li>Fixed for PRV-M</li> </ol>								

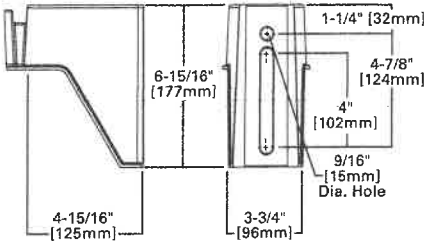
LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul	
L=LumenSafe Technology	H=Dome Camera, High Res Z=Dome Camera, Remote PTZ	C=Cellular, Customer Installed SIM Card A=Cellular, Factory Installed AT&T SIM Card V=Cellular, Factory Installed Verizon SIM Card	S=Cellular, Factory Installed Sprint SIM Card E=Ethernet Networking

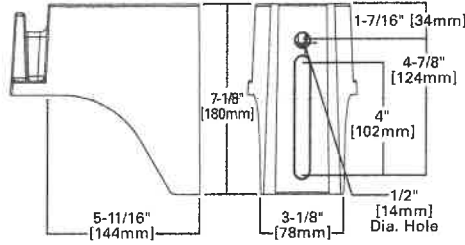


Mounting Details

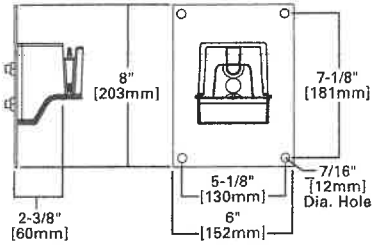
SA=QM Pole Mount Arm (PRV & PRV-P)



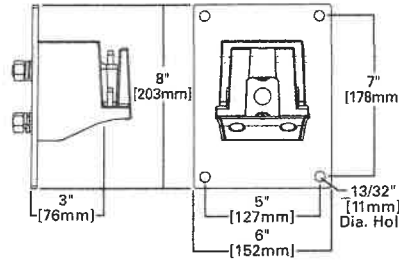
SA=QM Pole Mount Arm (PRV-XL)



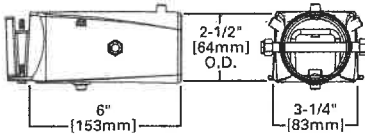
WM=QM Wall Mount Arm (PRV & PRV-P)



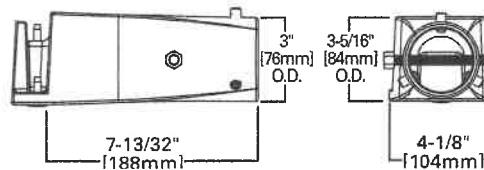
WM=QM Wall Mount Arm (PRV-XL)



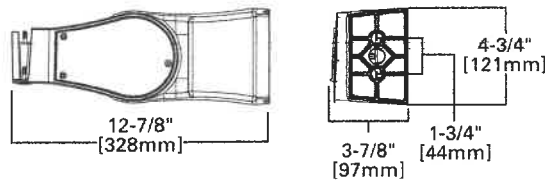
MA=QM Mast Arm (PRV & PRV-P)



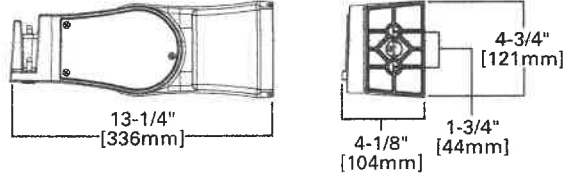
MA=QM Mast Arm (PRV-XL)



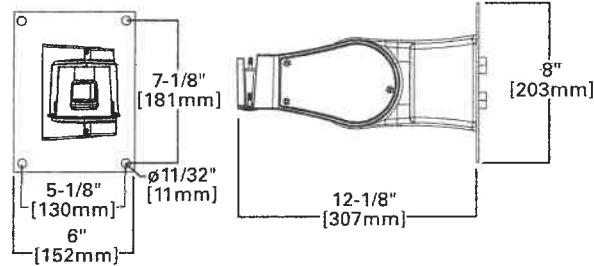
ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)



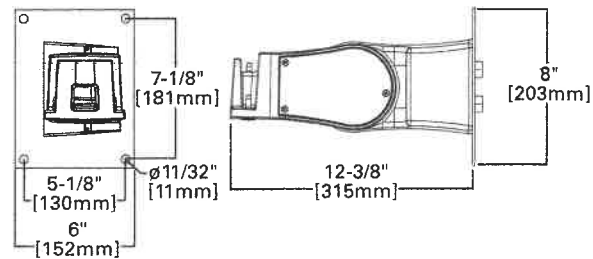
ADJA=Adjustable Arm Pole Mount (PRV-XL)



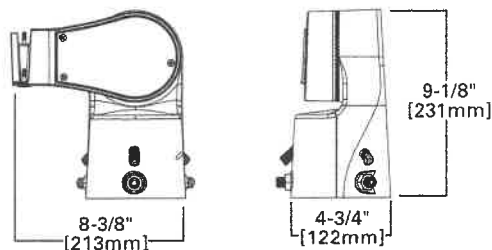
ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)



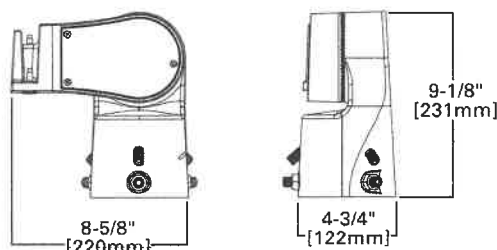
ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)



ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)

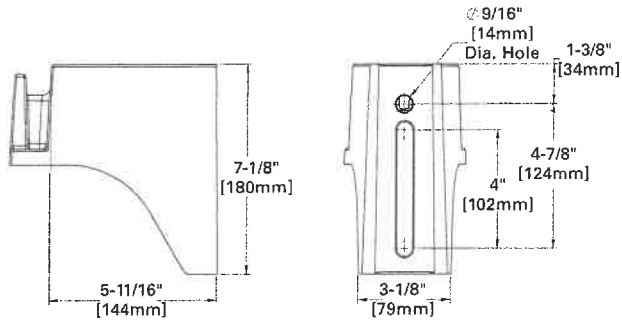


ADJS=Adjustable Slipfitter 3 (PRV-XL)

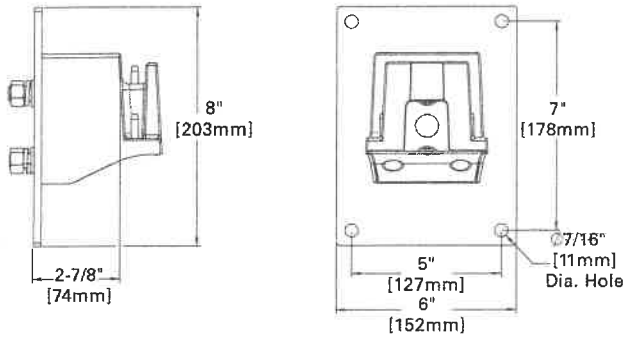


Mounting Details

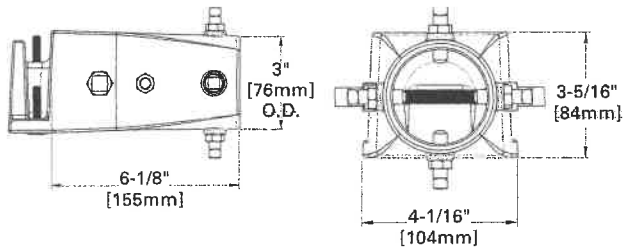
SA=QM Pole Mount Arm (PRV-M)



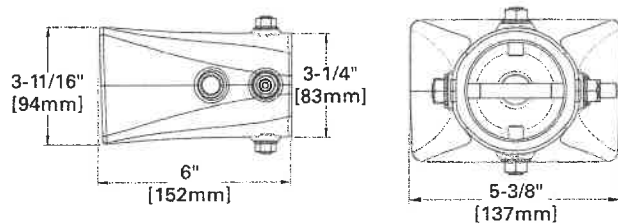
WM=QM Wall Mount Arm (PRV-M)



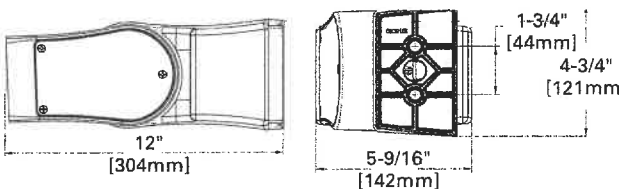
MA=QM Mast Arm (PRV-M)



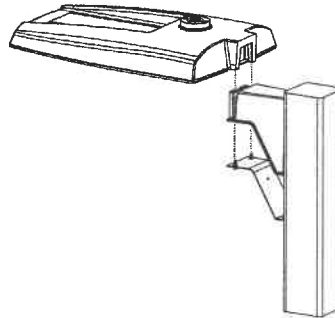
FMA=Fixed Mast Arm (PRV-M)



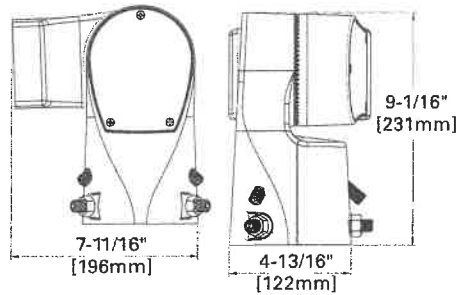
DM=Direct Pole Mount Arm (PRV-M)



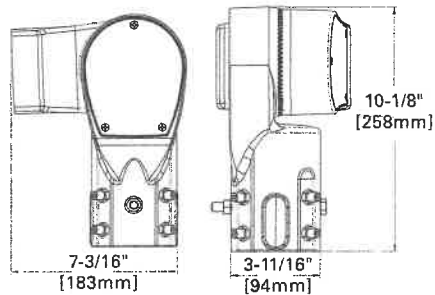
Versatile Mount System



ADJS=Adjustable Slipfitter (PRV-M)



SP2=Adjustable Slipfitter 2-3/8 inch (PRV-M)

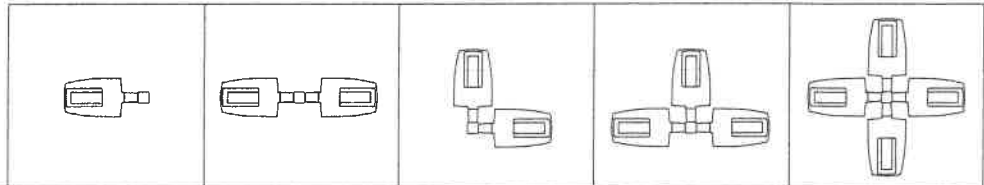




### Mounting Details

#### Mounting Configurations and EPAs

NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications

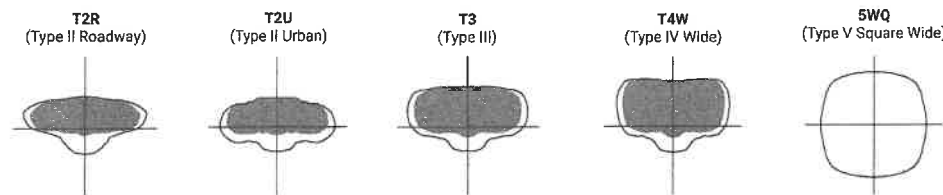


Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49
Prevail Maxx	0°	1.28	2.56	1.7	2.69	2.69
	60°	5.09	5.52	6.34	7.49	7.81

### Optical Configurations



#### Optical Distributions



= Distribution with House Side Shield (HSS)  
 = Optical Distribution

### Product Specifications

#### Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

#### Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

#### Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

#### Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Prevail and Prevail Petite: 3G vibration rated (all arms)
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated

#### Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

#### Typical Applications

- Parking lots, Walkways, Roadways and Building Areas

#### Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

#### Warranty

- Five year limited warranty, consult website for details. [www.cooperlighting.com/legal](http://www.cooperlighting.com/legal)

Energy and Performance Data

Power and Lumens

[View PRV-P IES files](#)

[View PRV IES files](#)

[View PRV-XL IES files](#)

Product Family		Prevail Petite				Prevail				Prevail XL				Prevail Maxx			
Light Engine		PA1A	PA1B	PA1C	PA1D	PA1A	PA1B	PA2A	PA2B	PA3A	PA3B	PA4A	PA4B	PA6A	PA6B	PA6C	PA6D
Power (Watts)		31	53	72	93	54	74	113	151	172	234	245	303	274	366	457	544
Drive Current (mA)		375	670	930	1200	670	930	720	970	750	980	785	970	600	800	1000	1200
Input Current @ 120V (A)		0.26	0.44	0.60	0.78	0.45	0.62	0.93	1.26	1.44	1.95	2.04	2.53	2.30	3.05	3.83	4.54
Input Current @ 277V (A)		0.12	0.20	0.28	0.35	0.21	0.28	0.41	0.55	0.62	0.85	0.93	1.12	0.99	1.30	1.62	1.94
Input Current @ 347V (A)		0.10	0.17	0.23	0.29	0.17	0.23	0.33	0.45	0.52	0.70	0.74	0.90	0.78	1.05	1.32	1.60
Input Current @ 480V (A)		0.07	0.13	0.17	0.22	0.12	0.17	0.24	0.33	0.39	0.52	0.53	0.65	0.58	0.76	0.95	1.14
Distribution																	
Type II Roadway	4000K/5000K Lumens	4,505	7,362	9,495	11,800	7,605	9,896	15,811	19,745	24,718	30,648	34,067	39,689	41,611	52,596	61,921	67,899
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	147	139	132	121	141	134	141	131	144	131	139	131	152	144	135	125
	3000K Lumens <sup>1</sup>	4,103	6,705	8,647	10,291	6,926	9,012	14,399	17,982	22,511	27,912	31,025	36,145	37,896	47,900	56,392	61,837
Type II Roadway w/ HSS	4000K/5000K Lumens	3,727	6,091	7,855	9,349	6,006	7,815	12,487	15,594	19,521	24,204	26,094	31,334	32,674	41,553	48,919	53,642
	BUG Rating	B0-U0-G1	B0-U0-G2	B0-U0-G2	B1-U0-G2	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5
	Lumens per Watt	121	115	109	100	111	106	111	103	113	103	107	103	120	114	107	99
	3000K Lumens <sup>1</sup>	3,394	5,547	7,154	8,514	5,470	7,117	11,372	14,201	17,778	22,043	24,502	28,545	29,939	37,843	44,552	48,853
Type II Urban	4000K/5000K Lumens	4,496	7,347	9,476	11,277	7,597	9,886	15,795	19,724	24,692	30,616	34,031	39,647	41,372	52,294	61,565	67,509
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	141	134	141	131	144	131	139	131	151	143	135	124
	3000K Lumens <sup>1</sup>	4,095	6,691	8,630	10,271	6,919	9,003	14,384	17,963	22,488	27,882	30,992	36,107	37,678	47,625	56,068	61,481
Type II Urban w/ HSS	4000K/5000K Lumens	3,253	5,316	6,856	8,160	5,297	6,893	11,013	13,753	17,217	21,347	23,728	27,644	28,951	36,594	43,082	47,241
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
	Lumens per Watt	106	101	95	87	98	93	97	91	100	91	97	91	106	100	94	87
	3000K Lumens <sup>1</sup>	2,963	4,841	6,244	7,431	4,824	6,277	10,029	12,525	15,680	19,441	21,609	25,176	26,366	33,327	39,235	43,023
Type III	4000K/5000K Lumens	4,443	7,261	9,364	11,145	7,575	9,857	15,749	19,667	24,621	30,527	33,932	39,532	41,155	52,020	61,242	67,155
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	145	138	130	119	140	133	141	130	143	130	138	130	150	142	134	123
	3000K Lumens <sup>1</sup>	4,046	6,612	8,528	10,150	6,899	8,977	14,343	17,911	22,423	27,802	30,903	36,002	37,480	47,375	55,774	61,159
Type III w/ HSS	4000K/5000K Lumens	3,406	5,566	7,179	8,543	5,592	7,277	11,626	14,519	18,176	22,536	25,049	29,183	30,159	38,121	44,879	49,212
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	111	105	100	91	104	98	103	96	106	96	102	96	110	104	98	90
	3000K Lumens <sup>1</sup>	3,102	5,069	6,538	7,781	5,093	6,627	10,588	13,222	16,553	20,524	22,813	26,578	27,466	34,717	40,872	44,818
Type IV Wide	4000K/5000K Lumens	4,348	7,106	9,164	10,906	7,484	9,738	15,560	19,431	24,325	30,161	33,525	39,057	41,207	52,086	61,320	67,240
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	142	135	127	117	139	132	139	129	141	129	137	129	151	142	134	124
	3000K Lumens <sup>1</sup>	3,960	6,471	8,346	9,932	6,816	8,869	14,170	17,696	22,153	27,468	30,531	35,570	37,528	47,435	55,845	61,236
Type IV Wide w/ HSS	4000K/5000K Lumens	3,318	5,422	6,993	8,323	5,420	7,053	11,268	14,072	17,617	24,843	24,279	28,286	30,005	37,926	44,650	48,961
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	108	103	97	89	100	95	100	93	102	106	99	93	110	104	98	90
	3000K Lumens <sup>1</sup>	3,022	4,938	6,369	7,580	4,936	6,423	10,262	12,816	16,044	19,892	22,111	25,760	27,326	34,540	40,664	44,589
Type V Square Wide	4000K/5000K Lumens	4,497	7,349	9,478	11,280	7,831	10,190	16,281	20,392	25,453	31,559	35,079	40,868	42,947	54,285	63,909	70,079
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	145	139	131	121	145	138	145	135	148	135	143	135	157	143	136	129
	3000K Lumens <sup>1</sup>	4,095	6,693	8,632	10,273	7,132	9,280	14,827	18,517	23,180	28,741	31,947	37,219	39,112	49,438	58,203	63,822

NOTES:  
1. For 3000K or HSS BUG Ratings, refer to published IES files



Energy and Performance Data

House Side Shield Reference Table

Product Family		Prevail	Prevail		Prevail XL		Prevail Maxx
Light Engine		PA1	PA1	PA2	PA3	PA4	PA6
Rotated Optics	Standard	HSS-HP (Qty 1)	HSS-VP (Qty 1)	HSS-HP (Qty 2)	HSS-HP (Qty 3)	HSS-VP (Qty 4)	HSS-HP (Qty 6)
	L90 or R90 option	HSS-VP (Qty 1)	HSS-HP (Qty 1)	HSS-VP (Qty 2)	HSS-VP (Qty 3)	HSS-HP (Qty 4)	HSS-VP (Qty 6)

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Lumen Maintenance

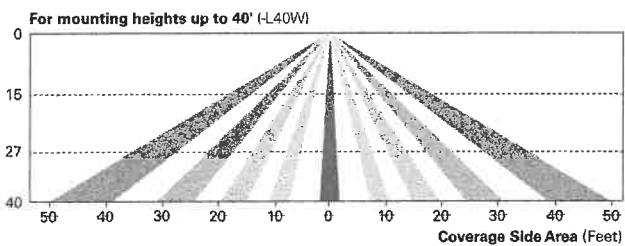
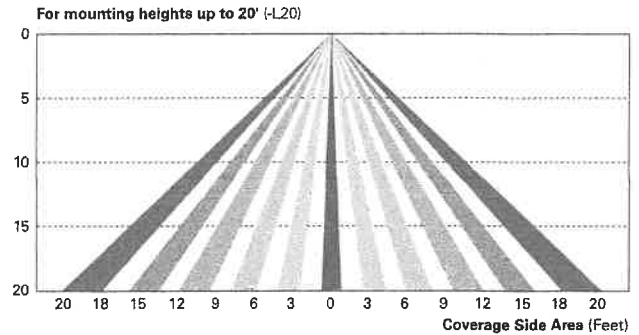
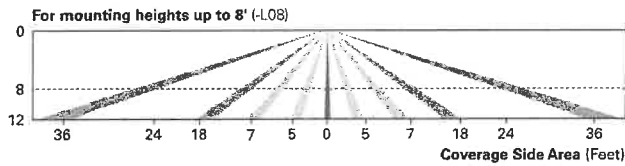
Ambient Temperature	TM-21 Lumen Maintenance (78,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 896,000

### Control Options

**0-10V** This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

**Photocontrol** (PR and PR7) Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

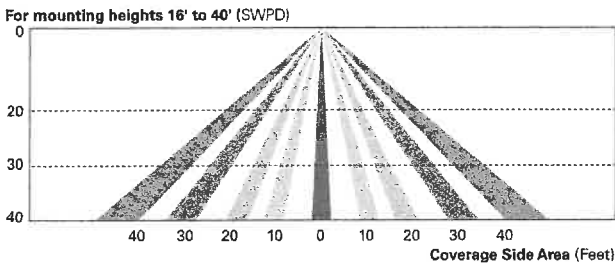
**Dimming Occupancy Sensor** (SPB, MS/DIM-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or "daylight harvesting." Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



**WaveLinx Wireless Control and Monitoring System** Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

**WaveLinx Outdoor Control Module (WOLC-7P-10A)** A photocontrol that enables astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

**WaveLinx Wireless Sensor (SWPD4 and SWPD5)** These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for "dusk-to-dawn" control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



**LumenSafe (LD)** The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.





## LUMINAIRE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	MOUNTING	LAMPS	VOLTS	WATTS	KELVIN	DESCRIPTION	LOCATION
PL2	LUMARK	PRV-PA2B-740-VOLT-T2R-SA-FINISH-HSS	POLE	LED	TBD	151W	4000K	(1) AREA SITE LUMINAIRE, TYPE II	TO BE PROVIDED WITH 25FT KW POLE SSP20-4.0-11-F-DM10-BC
PL4	LUMARK	PRV-PA2B-740-VOLT-T4W-SA-FINISH-HSS	POLE	LED	TBD	151W	4000K	(1) AREA SITE LUMINAIRE, TYPE IV	TO BE PROVIDED WITH 25FT KW POLE SSP20-4.0-11-F-DM10-BC
PL5	LUMARK	PRV-PA2B-740-VOLT-5WQ-SA-FINISH	POLE	LED	TBD	151W	4000K	(1) AREA SITE LUMINAIRE, TYPE V	TO BE PROVIDED WITH 25FT KW POLE SSP20-4.0-11-F-DM10-BC

ANY PROPOSED EQUAL FIXTURE OR CONTROL SUBSTITUTIONS SHALL BE SUBMITTED 14 DAYS PRIOR TO BID DAY, ACCOMPANIED BY DETAILED SPECIFICATION CUT SHEETS AND PHOTOMETRIC CALCULATIONS OF EVERY AREA WHERE THE PROPOSED SUBSTITUTION FIXTURE IS LOCATED, INCLUDING MAX-MIN, AVG-MIN, MAX-MIN, FOOT-CANDLE LEVELS & RATIOS CALCULATED AT A 30" WORK PLANE. ANY MISSING DATA SHALL DEEM THE PROPOSED ALTERNATE / SUBSTITUTE FIXTURE OR CONTROLS UNACCEPTABLE AND REJECTED WITHOUT FURTHER CONSIDERATION. ANY SUBSTITUTED FIXTURES CANNOT BE ASSURED TO PERFORM WITH EQUAL PHOTOMETRIC PERFORMANCE WITHOUT PHOTOMETRIC CALCULATIONS.





# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 7/21/2023

PROJECT NUMBER: SP2023-024  
PROJECT NAME: Site Plan for 955 Sids Road  
SITE ADDRESS/LOCATIONS: 955 SIDS RD

CASE CAPTION: Discuss and consider a request by David Lindsay of Tri-Tex Construction Inc. for the approval of a Site Plan for an office building on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/19/2023	Needs Review

07/19/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by David Lindsay of Tri-Tex Construction Inc. for the approval of a Site Plan for an office building on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-024) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

I.4 All signage will be covered by a separate permit (Subsection 06.02. F, of Article 05, UDC). Please remove any signage indicated on the plans.

I.5 The subject property will be required to be Final Plat, to establish new easements necessary for development.

M.6 A Material Sample Board is required to be provided by the August 15, 2023 Architecture Review Board (ARB) meeting (Subsection 03.04. A, of Article 11, UDC).

M.7 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

#### M.8 Site Plan:

- (1) Please include the owner and developer information in the lower right-hand corner on all sheets (i.e. name, address, and phone number). (Subsection 03.04. B, of Article 11, UDC)
- (2) Please provide the total lot are in acres and square feet. (Subsection 03.04. B, of Article 11, UDC)
- (3) Please indicate the building(s) square footage. (Subsection 03.04. B, of Article 11, UDC)
- (4) Please indicate the building setbacks. The front yard setback is 25-feet and the side yard setback is 15-feet. (Subsection 03.04. B, of Article 11, UDC)
- (5) Please label the fire lane as Fire Lane, Access, and Utility Easement. (Subsection 03.04. B, of Article 11, UDC)
- (6) Please indicate any existing or proposed fire hydrants. (Subsection 03.04. B, of Article 11, UDC)
- (7) A five (5) foot sidewalk is required adjacent to Sids Road. Please indicate the sidewalk. (Subsection 03.04. B, of Article 11, UDC)
- (8) Please provide a parking table that indicates the total number of parking spaces and the number of parking spaces required. The parking requirements for the office land use is one (1) parking space per 300 SF. (Table 5, Article 06)
- (9) Indicate the height and material of all existing and proposed fencing. (Subsection 08.02. F, of Article 08, UDC)
- (10) Please indicate all pad mounted equipment. All pad mounted equipment must be screened with five (5) gallon evergreen shrubs. (Subsection 01.05. C, of Article 05, UDC)
- (11) If there are and RTUs they must be fully screened. (Subsection 01.05. C, of Article 05, UDC)
- (12) Please indicate if there is any outside storage. Outside storage must be delineated on the site plan. In addition, the required screening must be provided. (Subsection 01.05. E, of Article 05, UDC)
- (13) If a dumpster enclosure is being constructed, please indicate it on the site plan and provide a dumpster detail that addresses the dumpster enclosure requirements, which are as follows. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. The enclosure must have five (5) gallon evergreen shrubs planted around it. To avoid doing this staff would suggest poly carts. (Subsection 01.05. B, of Article 05, UDC)

#### M.9 Landscape Plan:

- (1) The landscape comments may be included on the site plan as long as the plan does not get too cluttered.
- (2) Please indicate the impervious vs. landscaped area. (Subsection 01.01, of Article 08, UDC)
- (3) Provide a landscape table that indicates the size and species of all proposed landscaping. All canopy trees shall be four (4) inch caliper and accent trees shall be at least four (4) feet in height. In this case, within the landscape buffer there must be three (3) canopy and three (3) accent trees. Existing trees can count towards this, but their size and species must be provided. (Subsection 05.03. B, of Article 08, UDC)
- (4) Please delineate the ten (10) foot landscape buffer along Sids Road. (Subsection 05.01, of Article 08, UDC)
- (5) Please indicate the visibility triangles for all driveways. (Subsection 01.08, of Article 05, UDC)
- (6) Please provide a note that all irrigation will meet the UDC requirements. (Subsection 05.04, of Article 08, UDC)

#### M.10 Treescap Plan & Photometric Plan:

- (1) No trees are being removed, so the Treescap Plan is not required.
- (2) No additional lighting is being proposed, so the Photometric Plan is not required.

#### M.11 Building Elevations:

- (1) Indicate the surface area for each material on each façade. Windows and doors are not included in that calculation. (Subsection 04.01, of Article 05, UDC)
- (2) If the roof is metal, it needs to be standing seam not R-Panel. (Subsection 04.01. A, of Article 05, UDC)
- (3) The wall length exceeds the articulation requirements on the primary and secondary facades. This will be an exception to the articulation requirements. (Subsection 04.01. C, of Article 05, UDC)

I.12 Staff has identified the following exception(s) and variance(s) associated with the proposed request: [1] primary and secondary articulation. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on August 8, 2023 will result in the automatic denial of the case on the grounds of an incomplete



submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 8, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 15, 2023 Planning & Zoning Meeting.

I.15 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on July 25, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on August 15, 2023.

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jonathan Browning	07/19/2023	Needs Review
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/20/2023	Approved w/ Comments
07/20/2023: SUGGEST DRIVE GATES BE A MINIMUM OF 20 FEET BACK TO ALLOW VEHICLES TO BE COMPLETELY OFF THE ROAD WHILE GATES ARE BEING OPENED			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Henry Lee	07/20/2023	Needs Review
07/20/2023: An automatic fire sprinkler system is required. Show location of Fire Department Connection (FDC) FDC shall be within 50-feet of, facing, and visible from the fire lane. FDC must be within 100-feet of a fire hydrant. The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/17/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	07/20/2023	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/19/2023	Approved w/ Comments
07/19/2023: Please provide landscape and tree mitigation plans as required.			



**SITE PLAN**



NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

Firm Name and Address  
**TURNKEY TRACT**  
 2770 MAIN ST #171  
 FRISCO, TX 75033  
 F-22283  
 nkcivilengineer4@gmail.com  
 214-483-1599

Project Name and Address  
**OFFICE BUILDING**  
 955 SIDS ROAD  
 ROCKWALL, TEXAS 75032

Project	Sheet
Date	04
Scale	13

**General Items:**

- Must meet City's 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Show dumpster pad and enclosure.
- Need to show proposed/existing water and sewer on site plan
- Site plan on Sheet 5 doesn't match this site plan. Which one are you requesting?

**Drainage Items:**

- No detention in 100yr flood plain.
- Detention is required. Post-Development C value is by zoning.
- No grate inlets allowed
- Dumpster area to drain to an oil/water separator.

**Water and Wastewater Items:**

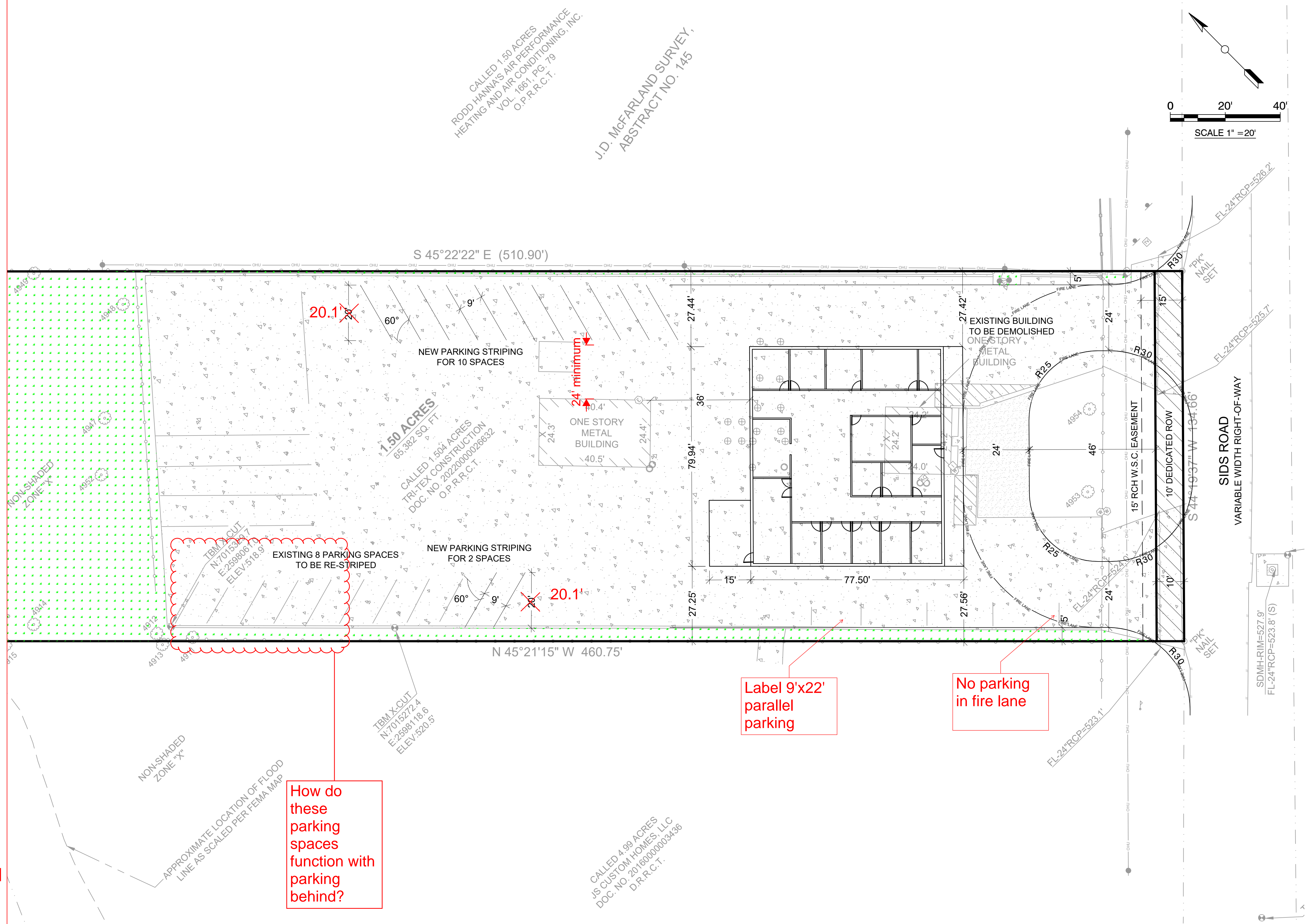
- Public water or sewer to be 8" minimum.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Mims Lift Station Pro-rata \$401.89/acre
- May need an on-site fire hydrant

**Roadway Paving Items:**

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Must dedicate half of Sids Road 65' total ROW width.
- Install 5' sidewalk along frontage.
- Must pay proportional share of Sids Road for additional building or pave 24' of Sids or pave.
- Gravel not allowed for parking.
- All 90 degree parking to be 9'x20', angled must be 9'x20.1', and parallel must be 9'x22'.

**Landscaping:**

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



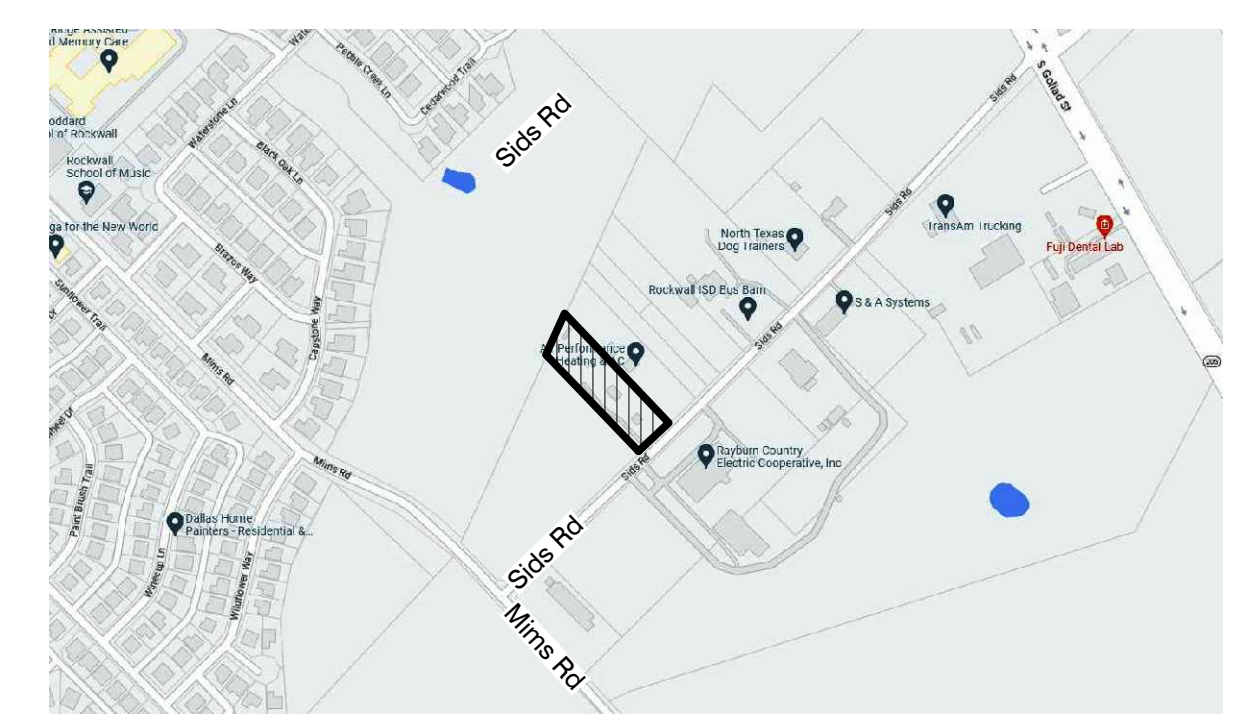
How do these parking spaces function with parking behind?

Label 9'x22' parallel parking

No parking in fire lane

**LEGEND**

	PROPOSED CONCRETE PAVING
	EXISTING CONCRETE PAVING
	GREEN SPACE / LANDSCAPE AREA
	FIRE LANE



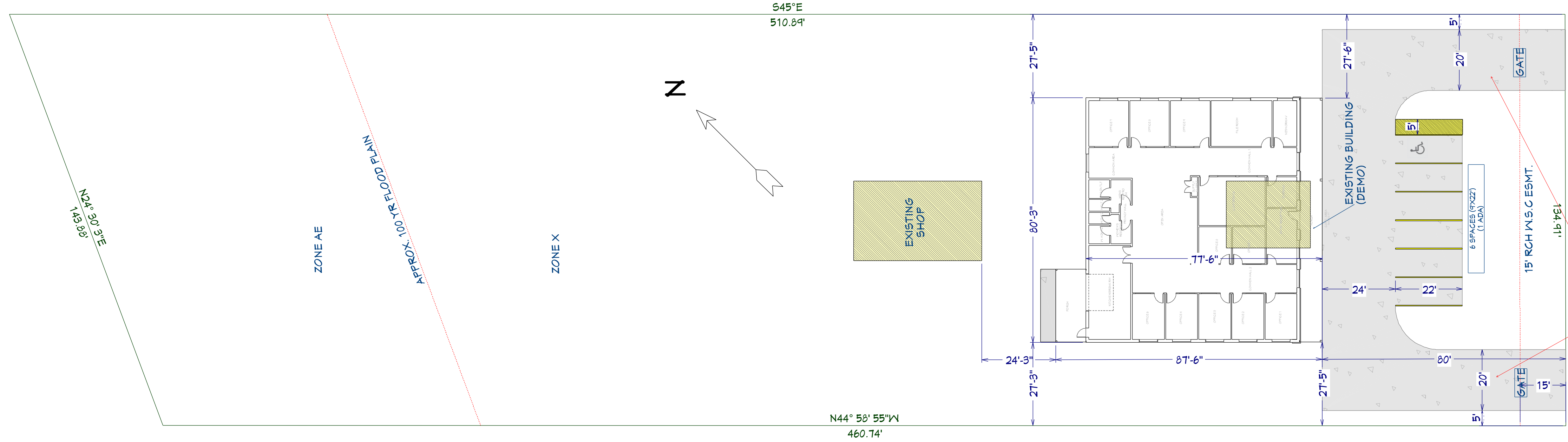
VICINITY MAP

PATH: C:\Turnkey\Tract\Drawings\2023\06\855\_8203.dwg  
 LAYOUT: CONCEPT LAYOUT  
 DATE: 06/20/2023 10:45:00 AM  
 USER: nkivilengineer4





SITE PLAN (SAT)  
SCALE: 1"=40'



SITE PLAN  
1"=20' SCALE

Driveways and drive aisles to be minimum of 24' wide

This site plan doesn't match the other submitted site plan



VICINITY MAP  
SCALE: 1"=40' (APPROX)

SITE DATA:

PROPERTY WILL REMAIN ZONED AS-IS:  
COMMERCIAL, F1

PHOTOMETRICS - EXISTING SITE LIGHTING RETAINED. ALL LIGHTING SHALL BE DOWNWARD FACING AND FULLY SHIELDED.

DEVELOPER: TRI-TEX CONSTRUCTION INC.

SITE PLAN SIGNATURE BLOCK

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>  $1.5 \times 20 = \$30$
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **955 SIDES ROAD**

SUBDIVISION **JD McFARLAND TRACT 8-3 ACRES 1.5** LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION **SIDES & STATE HIGHWAY 205**

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **COMMERCIAL**

CURRENT USE **OFFICE BUILDING**

PROPOSED ZONING **COMMERCIAL**

PROPOSED USE **OFFICE BUILDING**

ACREAGE **1.5**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **TRI-TEX CONSTRUCTION INC.**

APPLICANT \_\_\_\_\_

CONTACT PERSON **DAVID LINDSAY**

CONTACT PERSON \_\_\_\_\_

ADDRESS **797 N GROVE RD**

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP **RICHARDSON TX 75081**

CITY, STATE & ZIP \_\_\_\_\_

PHONE **214-460-0051**

PHONE \_\_\_\_\_

E-MAIL **DAVID@TRI-TEX.COM**

E-MAIL \_\_\_\_\_

### NOTARY VERIFICATION [REQUIRED]

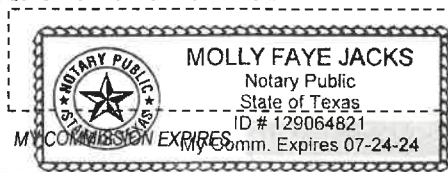
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Lindsay [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 280.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF JULY, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

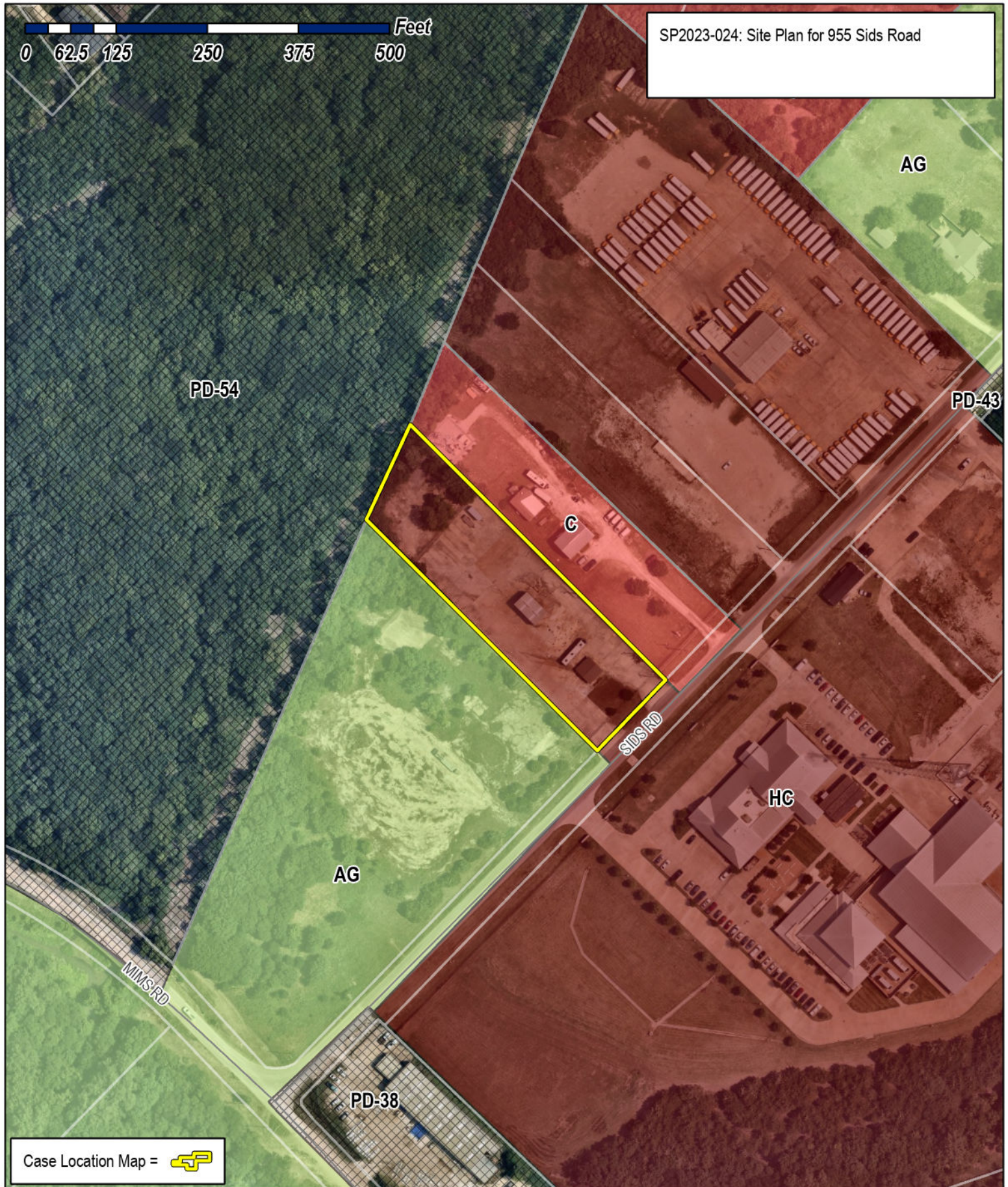
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF July, 2023

OWNER'S SIGNATURE David Lindsay

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Molly Faye Jacks







SP2023-024: Site Plan for 955 Sids Road

0 62.5 125 250 375 500 Feet

AG

PD-54

PD-43

G

SIDS RD

HC

AG

MIMS RD

PD-38

Case Location Map =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





ELEVATIONS



DATE:

7/14/2023

SCALE:

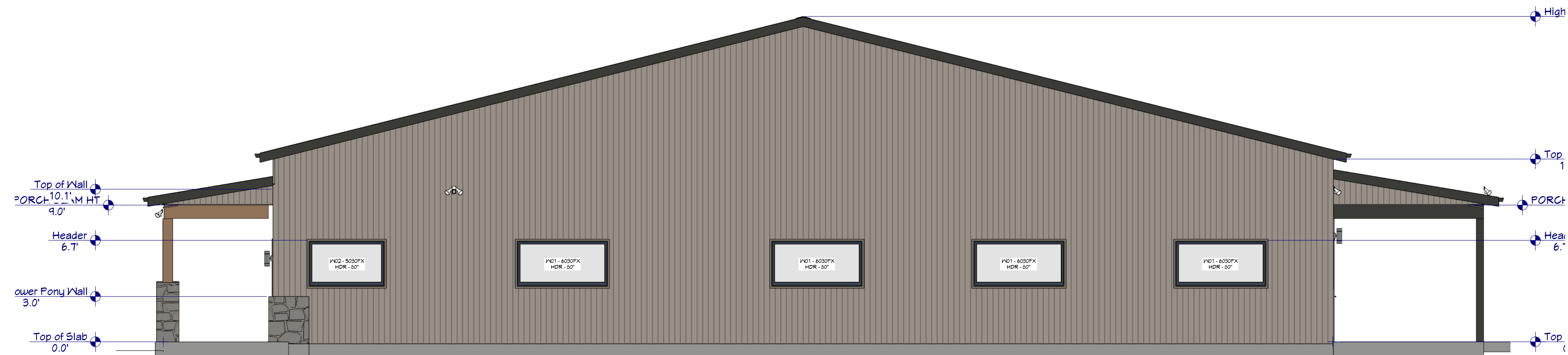
1/4"=1'

SHEET:

2



Exterior Elevation Front



Exterior Elevation Right

EXTERIOR MATERIALS:	
SOFFIT:	METAL
SIDING:	R PANEL, BEIGE
STONE:	36" PONY WALL, OKLAHOMA STONE
ROOF:	R PANEL, BLACK
PORCH POSTS:	8" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	18"X18"X48", OKLAHOMA STONE
CORNER TRIM:	YES
GUTTERS:	YES
(SEE STYLE SHEET FOR ADDITIONAL INFO.)	





Exterior Elevation Back



Exterior Elevation Left





FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

**GENERAL NOTES:**

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

**BUILDING PERFORMANCE:**

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

**Layout Page Table**

Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	ELEVATIONS (CONT.)
4	SCHEDULES & STYLE
5	SITE PLAN
6	FOUNDATION/ROUGH-IN PLAN
7	ROOF PLAN - 1F
8	FRAMING PLAN - 1F
9	ELECTRICAL PLAN
10	CABINET PLAN

REV 01

PLANS PREPARED BY:  
 AARON HAMILTON  
 ABIDE HOME DESIGNS  
 ROYSE CITY, TX / 972-593-0959  
 AARON@ABIDEHOMEDESIGNS.COM

PROJECT OVERVIEW

TRI-TEX CONSTRUCTION INC.  
 955 SIDS RD  
 ROCKWALL, TX 75082



DATE:

7/14/2023

SCALE:

1/4"=1'

SHEET:

1

TOTAL CONDITIONED SF:	5600 SF
TOTAL SLAB SF:	6579 SF
TOTAL PORCHES UNDER ROOF:	970 SF
TOTAL UNDER ROOF SF:	6579 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	4/3/2023	AJH	BID/REVIEW PLANS

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST  
 -2D ELECTRONIC CAD FILE AVAILABLE (DWG, DXF) UPON REQUEST  
 -PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.

MIN. CODE RECOMMENDATIONS:  
 ELECTRICAL SYSTEM CODE: SEC.2701  
 MECHANICAL SYSTEM CODE: SEC.2801  
 PLUMBING SYSTEM CODE: SEC.2901  
 (CONSULT LOCAL/CITY BUILDING REQUIREMENTS)











ELECTRONIC CAD FILES (.DWG, .DXF) AVAILABLE ON REQUEST

REV 01

PLANS PREPARED BY:  
 AARON HAMILTON  
 ABIDE HOME DESIGNS  
 ROYSE CITY, TX / 972-593-0959  
 AARON@ABIDEHOMEDESIGNS.COM

FOUNDATION/  
 ROUGH-IN PLAN

TRI-TEX CONSTRUCTION  
 INC.  
 955 SIDS RD  
 ROCKWALL, TX 75082



DATE:

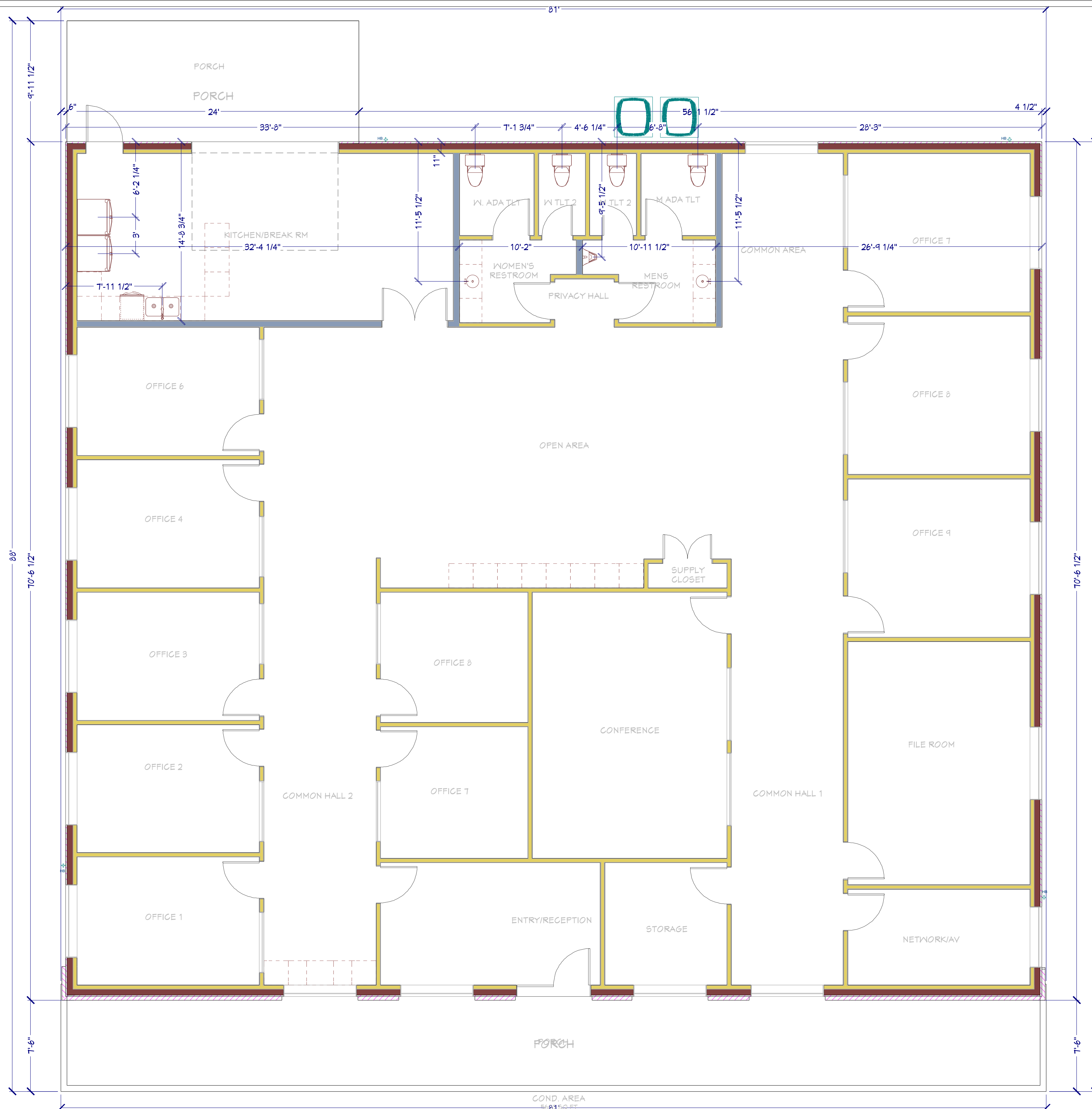
7/14/2023

SCALE:

1/4"=1'

SHEET:

6



**FOUNDATION NOTES:**

FOUNDATION TO BE ENGINEERED BY LICENSED STRUCTURAL ENGINEER TO DETERMINE BEAM/FOOTING SIZES, PIER LAYOUT, REINFORCEMENT AND POST TENSION REQUIREMENTS.

ALL WALK IN SHOWER PANS TO BE RECESSED 3.5" FROM MAIN SLAB HEIGHT.

BRICK LEDGE TO 5.5" IN WIDTH AND A MINIMUM OF 1.5" IN DEPTH WHERE SHOWN.

SLOPE ALL PORCHES AND GARAGES AWAY FROM HOUSE TO ENSURE PROPER WATER RUNOFF.

MINIMUM 1.5" STEP DOWN FROM MAIN SLAB TO GARAGE SLAB.

FOUNDATION PLAN DEFINES FOOTPRINT AND SLAB PENETRATION DEFINITION ONLY.

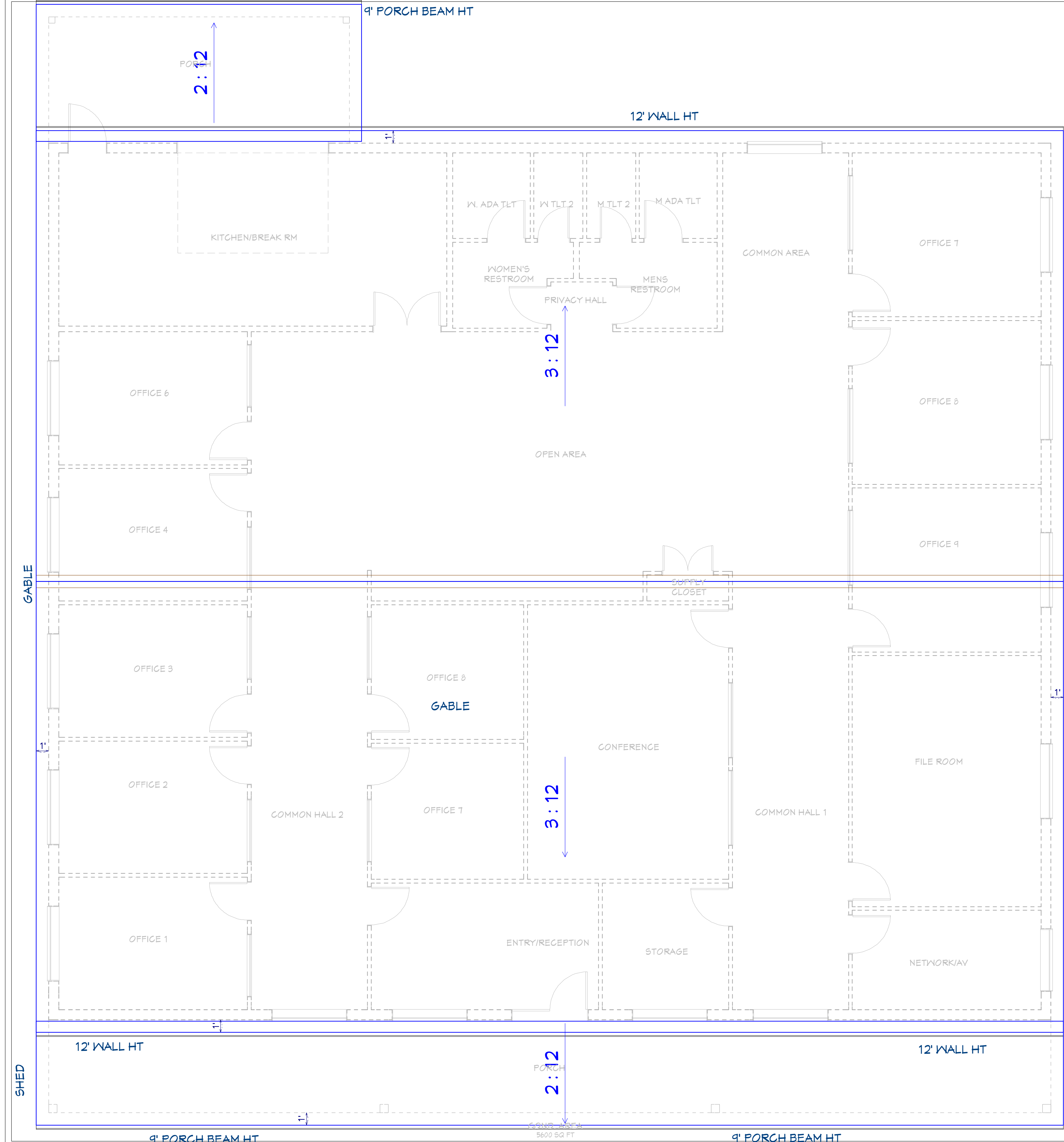
INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- \* JOINTS AROUND WINDOW AND DOOR FRAMES
- \* JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- \* JOINTS BETWEEN WALL AND FOUNDATION
- \* JOINTS BETWEEN WALL AND ROOF
- \* JOINTS BETWEEN WALL PANELS
- \* UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

**GENERAL PLUMBING NOTES:**

1. VERIFY FIXTURE SELECTIONS AND DRAIN LOCATIONS WITH HOMEOWNER PRIOR TO ROUGH-IN.
2. ALL SLAB WATER PENETRATIONS TO BE SLEEVED WITH PVC OR WRAPPED WITH FOAM INSULATION TO PROTECT WATER LINE FROM CHAFFING.
3. UTILIZE TUB BOXES FOR TUB AND SHOWER SLAB DRAIN PENETRATIONS.
4. ALL WATER LINES RUN UNDER SLAB TO BE INSULATED.
5. REFER TO SLAB ENGINEERING PLAN TO DETERMINE IDEAL EXTERIOR CLEANOUT AND SEWER DRAIN CONNECTION LOCATION.
6. ISLAND DRAIN, WATER AND/OR GAS TO BE LOCATED MINIMUM 2" INSIDE THE BACK OF CABINET WHERE APPLIANCE OR SINK IS LOCATED UNLESS OTHERWISE SPECIFIED.
7. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
8. PLUMBER TO ALLocate AN IN-HOME PRIMARY WATER SHUTOFF VALVE IN EASILY ACCESSIBLE WALL. VERIFY VALVE LOCATION WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
9. MINIMUM 3X, FREEZE PROOF HOSE BIBS IF NOT SPECIFIED ON DRAWING. VERIFY HOSE BIB LOCATIONS WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
10. PERMISSIBLE TO RUN IN-CEILING WATER DISTRIBUTION, PROVIDED LOCAL CODE REQUIREMENTS AND BUILDER PERMIT.

FOUNDATION ROUGH-IN



TOTAL ROOF SF:	7063 SF
METAL, R PANEL, RIBBED, BLACK	
PRIMARY PITCH:	3:12
SECONDARY PITCH(ES):	2:12
EAVE STYLE:	RAKE/SCULPTED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT

ROOF PLAN

REV 01

PLANS PREPARED BY:  
 AARON HAMILTON  
 ABIDE HOME DESIGNS  
 ROYSE CITY, TX / 972-533-0459  
 AARON@ABIDEHOMEDESIGNS.COM

ROOF PLAN - 1F

TRI-TEX CONSTRUCTION  
 INC.  
 955 SIDS RD  
 ROCKWALL, TX 75082



DATE:

7/14/2023

SCALE:

1/4"=1'

SHEET:

7





DATE:

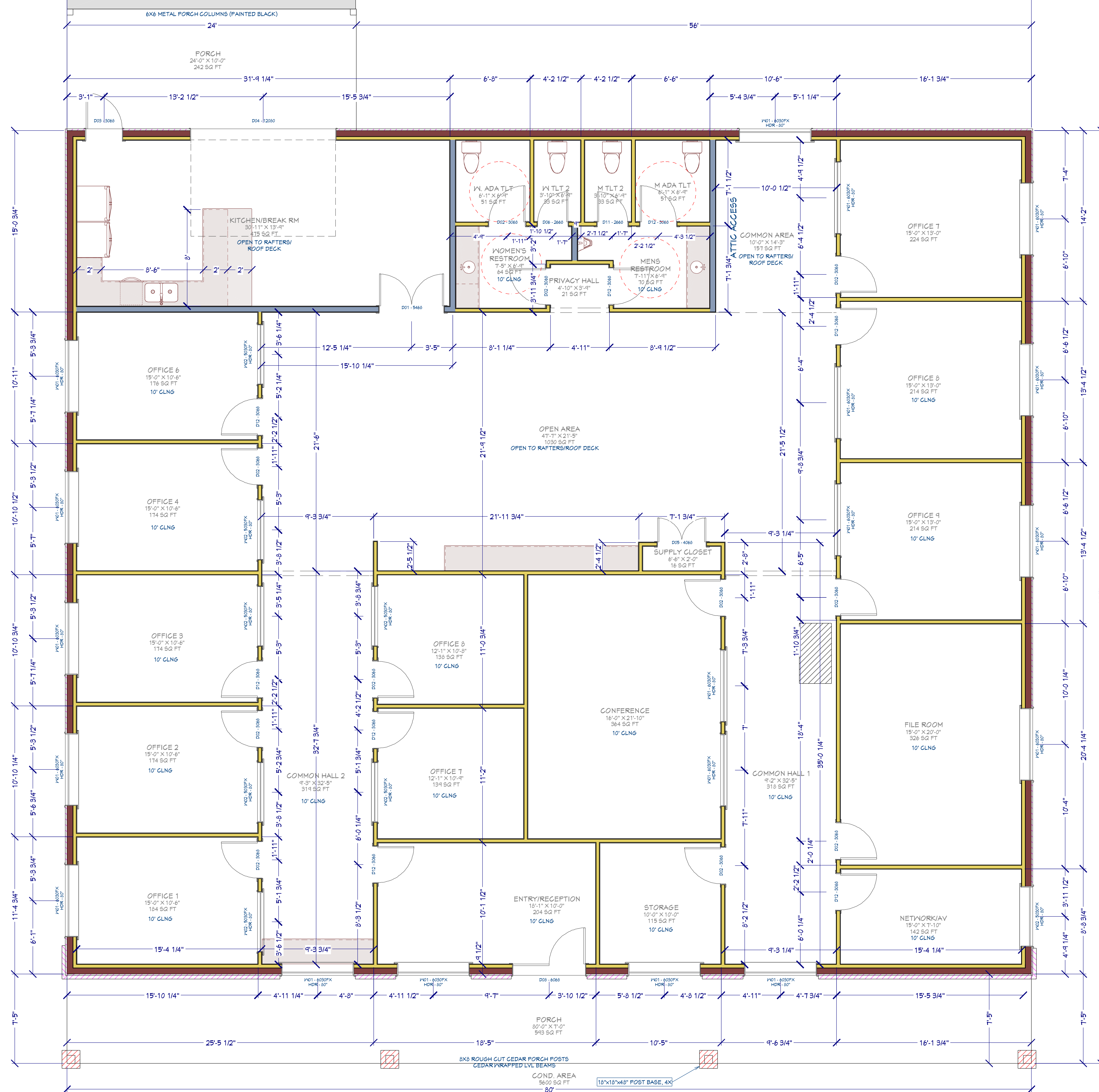
7/14/2023

SCALE:

1/4"=1'

SHEET:

8



ROOM AREA/CEILING SCHEDULE (UNLESS OTHERWISE SPECIFIED)			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	OPEN AREA	1007	N/A
1	FILE ROOM	299	121 1/8"
1	ENTRY/RECEPTION	181	121 1/8"
1	KITCHEN/BREAK RM	424	N/A
1	M TLT 2	26	121 1/8"
1	OFFICE 4	157	121 1/8"
1	M ADA TLT	41	121 1/8"
1	W ADA TLT	41	121 1/8"
1	OFFICE 7	195	121 1/8"
1	OFFICE 6	158	121 1/8"
1	NETWORK/AV	118	121 1/8"
1	OFFICE 8	129	121 1/8"
1	PRIVACY HALL	18	121 1/8"
1	MENS RESTROOM	62	121 1/8"
1	PORCH	560	104 1/8"
1	OFFICE 7	131	121 1/8"
1	COMMON AREA	142	N/A
1	COMMON HALL 2	299	121 1/8"
1	CONFERENCE	349	121 1/8"
1	WOMEN'S RESTROOM	57	121 1/8"
1	COMMON HALL 1	298	121 1/8"
1	STORAGE	101	121 1/8"
1	W TLT 2	26	121 1/8"
1	OFFICE 1	157	121 1/8"
1	OFFICE 2	157	121 1/8"
1	OFFICE 3	158	121 1/8"
1	SUPPLY CLOSET	13	121 1/8"
1	OFFICE 9	195	121 1/8"
1	OFFICE 8	195	121 1/8"
1	PORCH	234	104 1/8"
<b>TOTALS:</b>		<b>5933</b>	

FRAMING PLAN



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

ELECTRICAL SCHEDULE			
NUMBER	FLOOR	QTY	DESCRIPTION
E01	1	104	RECESSED DOWN LIGHT 6
E02	1	14	RECESSED DOWN LIGHT 4
E03	1	8	SCOPE SCONCE
E04	1	6	CLASSIC CEILING FAN
E05	1	7	SPOTLIGHT 2 MOTION SENSOR
E06	1	6	EXHAUST
E07	1	38	SINGLE POLE

- ADDITIONAL ELECTRICAL ITEMS/NOTES:**
- SOFFIT PLUGS (FOR CHRISTMAS LIGHTS, ETC.) TO BE INSTALLED ON 4 CORNERS OF HOUSE & BETWEEN CORNERS IF SPACING EXCEEDS 50'.
  - UNDER CABINET AND UPPER GLASS BOX CABINET (IF APPLICABLE) TO BE INSTALLED ON ALL KITCHEN CABINETS.
  - MINIMUM 1X (UNLESS OTHERWISE SHOWN), WATERPROOF OUTLET ON ALL PORCHES, NEAR GARAGE DOOR.
  - IF POOL OR HOT TUB IS TO BE INSTALLED, ELECTRICIAN TO PROVISION THE FOLLOWING:
    - 30A 220V FOR POOL
    - 20A 110V FOR POOL ACCESSORIES
    - 50A 220V FOR ELECTRIC HOT TUB
  - ELECTRICIAN TO VERIFY WITH HOMEOWNER IF 50A/220V BACKUP GENERATOR PLUG IS REQUIRED.
  - ELECTRICIAN TO VERIFY HVAC POWER REQUIREMENTS WITH BUILDER PRIOR TO ELECTRICAL ROUGH-IN.
  - DATA/AUDIO/VIDEO/SECURITY WIRING INFO. MAY NOT BE SHOWN ON ELECTRICAL PLAN, BUILDER TO VERIFY REQUIREMENTS WITH HOMEOWNER.
  - SECURITY LIGHTS (MINIMUM 3X) TO BE INSTALLED AT LOCATIONS TO BE DEFINED BY HOMEOWNER.
  - FLOOR OUTLETS AND ISLAND WIRING CONDUIT (IF APPLICABLE) MUST BE PROVISIONED PRIOR TO SLAB CONSTRUCTION.

- ELECTRICAL, DATA, & AUDIO NOTES:**  
 HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.
- ELECTRICAL NOTES:**
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. ORG.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
  - PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
  - CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
  - FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
  - FIXTURES TO BE SELECTED BY HOME OWNER.
- AUDIO:**
- LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
  - AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
  - LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.
- DATA / CABLE:**
- LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.



ELECTRICAL PLAN



CABINET PLAN

TRI-TEX CONSTRUCTION  
 INC.  
 955 SIDS RD  
 ROCKWALL, TX 75082



DATE:

7/14/2023

SCALE:

1/4"=1'

SHEET:

10



- SEE CABINET ELEVATIONS (NEXT SHEET) FOR CONCEPTUAL DOOR/ DRAWER STYLE AND/OR CONFIGURATION  
 - DOES NOT INCLUDE CLOSET SHELVES/ROD AND FLOATING OR DECORATIVE SHELVES

CABINET SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	DESCRIPTION	ROOM NAME	WIDTH	DEPTH	HEIGHT
C05	B24R	2	1	BASE CABINET	KITCHEN/BREAK RM	24"	24"	36"
C06	BCB18R	1	1	BASE CABINET	KITCHEN/BREAK RM	18"	24"	36"
C07	SB36	1	1	BASE CABINET	KITCHEN/BREAK RM	36"	24"	36"
C08	BCB24R	3	1	BASE CABINET	KITCHEN/BREAK RM	24"	24"	36"
C09	B18R	2	1	BASE CABINET	COMMON HALL 2	18"	24"	36"
C10	B24R	2	1	BASE CABINET	COMMON HALL 2	24"	24"	36"
C11	B27	1	1	BASE CABINET	COMMON HALL 2	26 9/16"	24"	36"
C13	B24R	8	1	BASE CABINET	OPEN AREA	24"	24"	36"
C14	B2422L	2	1	BASE CABINET	MENS RESTROOM	24"	22"	36"
C15	SB3322	1	1	BASE CABINET	WOMEN'S RESTROOM	33 7/16"	22"	36"
C16	B2422R	2	1	BASE CABINET	WOMEN'S RESTROOM	24"	22"	36"
C17	SB3322	1	1	BASE CABINET	MENS RESTROOM	33 7/16"	22"	36"

CABINET PLAN